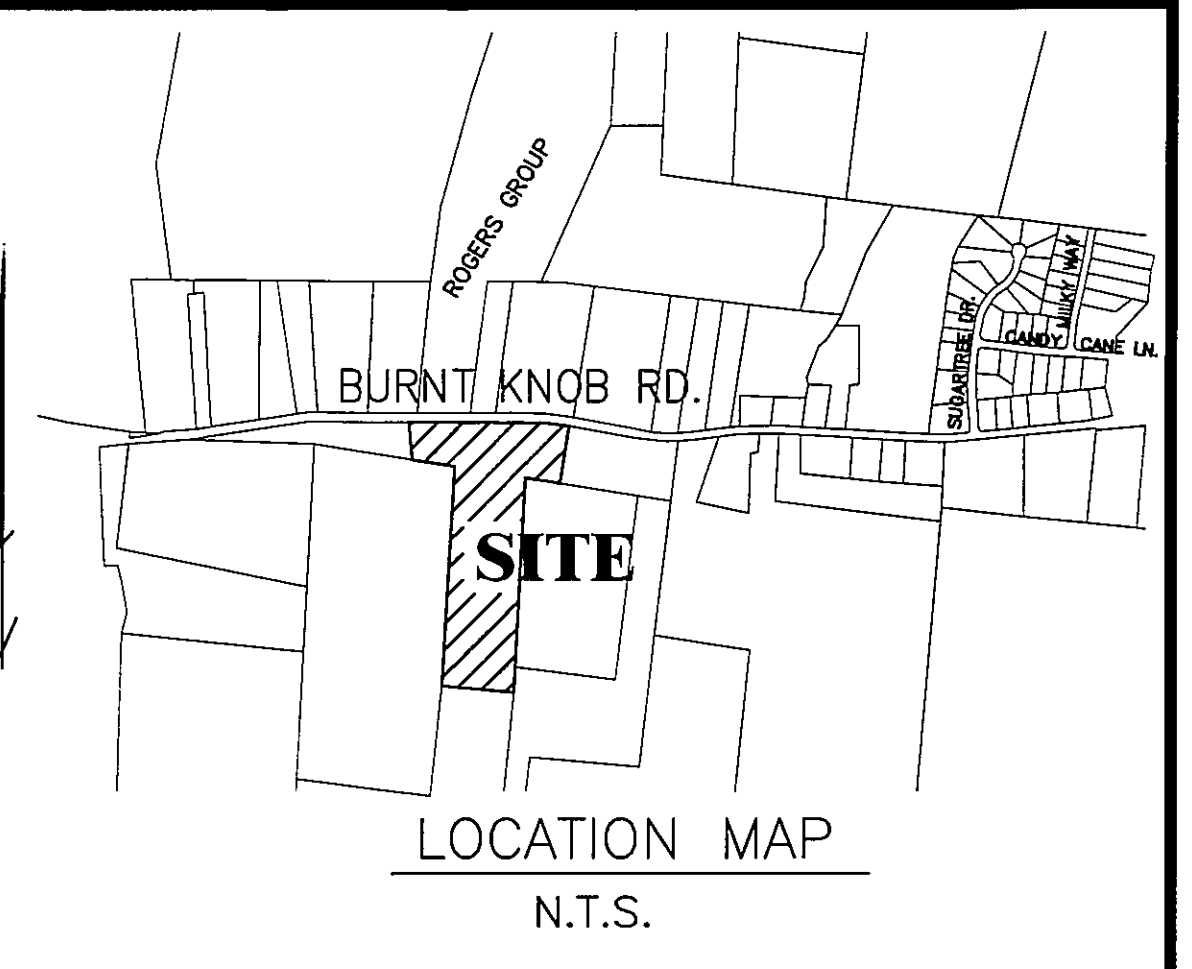


TOLBERT REAL ESTATE PARTNERS, LP
R.B 887, PG. 3061
ZONED: RM

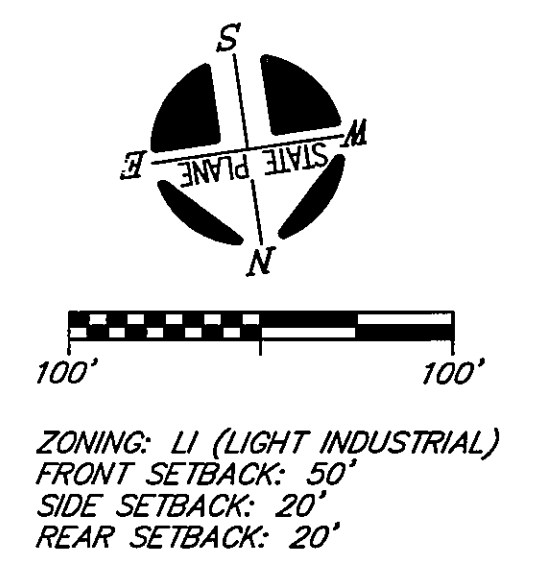
TOLBERT REAL ESTATE PARTNERS, LP
R.B 887, PG. 3061
ZONED: RM

MARY BOND PATTERSON
REC.BK. 1534, PG. 1293
ZONED: RM



#	DATE	REVISION DESCRIPTION
1	02/22/19	ADDRESSED COUNTY STAFF COMMENTS
2	03/11/19	ADDRESSED ADDITIONAL COUNTY STAFF COMMENTS
3	03/19/19	ADDRESSED ADDITIONAL COUNTY STAFF COMMENTS

- ### LEGEND
- ⊗ Power Pole
 - ⊕ Existing Fire Hydrant
 - ⊕ Proposed Fire Hydrant
 - △ Reducer
 - ⊕ Proposed Gate Valve & Box
 - ▲ Concrete Thrust Block
 - W— Existing Water Line
 - W— Proposed Water Line
 - S— Existing Sanitary Sewer Line
 - S— Proposed Sanitary Sewer Line
 - Existing Manhole
 - Proposed Manhole
 - CD— Sewer Line Check Dam
 - 00— Existing Contours
 - 00— Proposed Contours
 - 00.0 Existing Spot Elevations
 - 00.0 Proposed Spot Elevations
 - SF— Siltation Fence
 - (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
 - Turf Reinforcement Mat
 - E— Existing Telephone & Electric Line
 - UE— Existing Underground Electric Line
 - CMP— Corrugated Metal Pipe
 - RCP— Reinforced Concrete Pipe



ZONING: LI (LIGHT INDUSTRIAL)
FRONT SETBACK: 50'
SIDE SETBACK: 20'
REAR SETBACK: 20'

NOTES:

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NOTE: 25' R.O.W. DEDICATION OFF EXISTING BURNT KNOB ROAD CENTERLINE IS REQUIRED. CONTACT PHILLIS FULTZ AT THE RUTHERFORD COUNTY PLANNING AND ENGINEERING DEPARTMENT AT 615-898-7732 FOR INFORMATION ON R.O.W. DEDICATION DOCUMENTS.

NOTE: AN AS-BUILT DRAWING OF THE COMPLETED STORMWATER DRAINAGE SYSTEM MUST BE SUBMITTED TO AND APPROVED BY THE COUNTY ENGINEER BEFORE THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

NOTE: A STORMWATER MAINTENANCE AGREEMENT MUST BE COMPLETED AND SUBMITTED TO AND APPROVED BY THE COUNTY ENGINEER BEFORE THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.

OWNER: HAMILTON AND MOORE, LP
ADDRESS: 799 ELYSIAN FIELDS
NASHVILLE, TN 37204
TAX MAP: 77 PART OF PARCEL: 49
FLOOD MAP PANEL: 470165 0118 L1 ZONE: X
FLOOD MAP DATED: JANUARY 5, 2007
FLOOD MAP PANEL: 470165 0119 H ZONE: X
FLOOD MAP DATED: JANUARY 5, 2007
FLOOD MAP PANEL: 470165 0235 H ZONE: X
FLOOD MAP DATED: JANUARY 5, 2007

NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

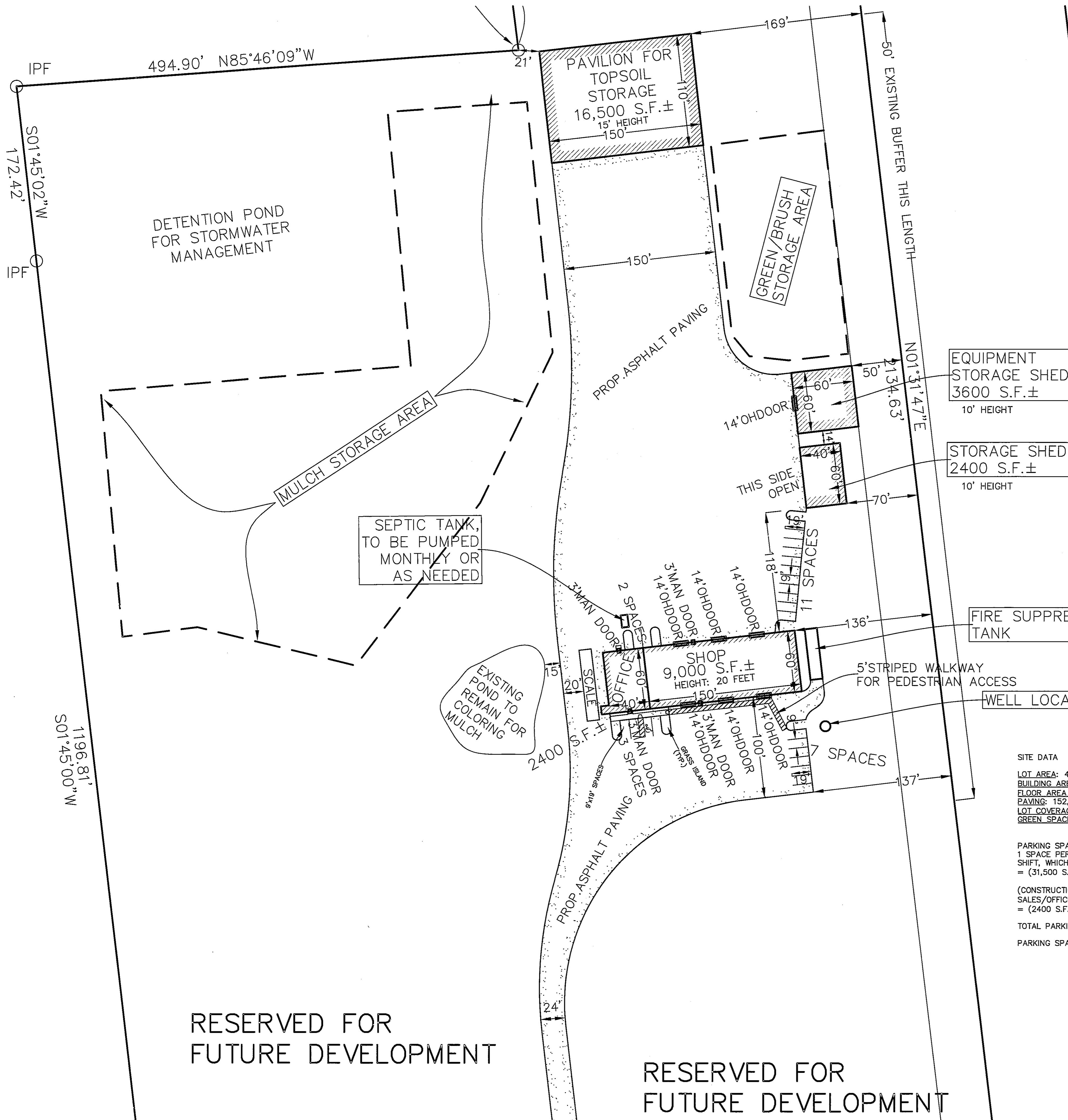
W. H. HUDDLESTON-STEELE ENGINEERING INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: (615)853-4084, FAX: (615)853-0080

MASTER PLAN

MULCH AND MORE

7TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DATE: JANUARY, 2019 SCALE 1"=100' SH. 1 OF 6

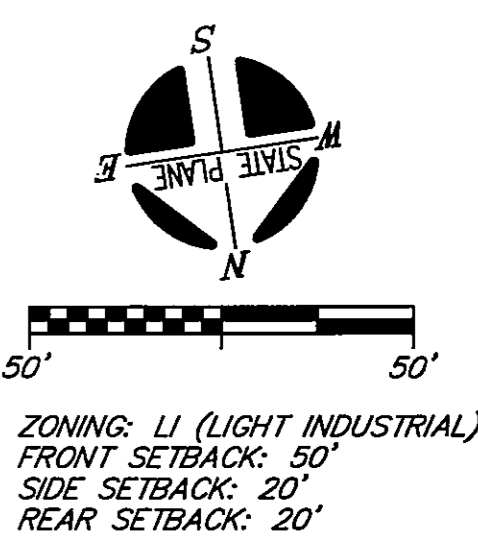


CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

Middle Tennessee Electric Membership Corporation (MEMEC) will provide electric service to the subject property according to the normal operating practices of MEMEC as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MEMEC, and in accordance with the plot approval checklist, tree planting guidelines and other regulations contained on the MEMEC website at www.memec.com (collectively the "Requirements"). No electric service will be provided until MEMEC's Requirements have been met and approved in writing by an authorized representative of MEMEC. Any approval is, at all times, contingent upon continuing compliance with MEMEC's requirements.

Date _____ MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

- LEGEND**
- ⊗ Power Pole
 - ⊕ Existing Fire Hydrant
 - ⊕ Proposed Fire Hydrant
 - △ Reducer
 - ⊕ Proposed Gate Valve & Box
 - ▲ Concrete Thrust Block
 - W- Existing Water Line
 - W- Proposed Water Line
 - S- Existing Sanitary Sewer Line
 - S- Proposed Sanitary Sewer Line
 - Existing Manhole
 - Proposed Manhole
 - CD Sewer Line Check Dam
 - 00- Existing Contours
 - 00- Proposed Contours
 - 00.0 Existing Spot Elevations
 - 00.0 Proposed Spot Elevations
 - SF- Siltation Fence (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
 - Turf Reinforcement Mat
 - E-T- Existing Telephone & Electric Line
 - UGE- Existing Underground Electric Line
 - CMP- Corrugated Metal Pipe
 - RCP- Reinforced Concrete Pipe



- NOTES:**
- IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS. NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE, A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE: 1-800-351-1111.
 - UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.

OWNER: HAMILTON AND MOORE, LP
ADDRESS: 799 ELYSIAN FIELDS
 NASHVILLE, TN 37204
TAX MAP: 77 PART OF PARCEL: 49
FLOOD MAP PANEL: 470165 0118 J ZONE: X
FLOOD MAP DATED: JANUARY 5, 2007
FLOOD MAP PANEL: 470165 0119 H ZONE: X
FLOOD MAP DATED: JANUARY 5, 2007
FLOOD MAP PANEL: 470165 0235 H ZONE: X
FLOOD MAP DATED: JANUARY 5, 2007

NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

SITE DATA

LOT AREA: 46 ACRES±, 2,001,641 S.F.±
 BUILDING AREA (PROPOSED): 33,900 s.f.± TOTAL
 FLOOR AREA RATIO: 33900s.f./2001641s.f. = 1.7%
 PAVING: 152,143 S.F.±
 LOT COVERAGE (TOTAL): (33900+152143)s.f./2001641s.f. = 9.3%
 GREEN SPACE: 2001641s.f.-186043s.f. = 1,815,598s.f. = 90.7%

PARKING SPACES REQUIRED FOR INDUSTRIAL USE (MULCH):
 1 SPACE PER 1500 S.F. OR 1 SPACE PER 3 EMPLOYEES ON LARGEST SHIFT, WHICHEVER IS GREATER
 = (31,500 S.F. F.A.) / 1500 = 21 SPACES REQUIRED

(CONSTRUCTION SALES AND SERVICE): 1 SPACE PER 1000 S.F. SALES/OFFICE FLOOR AREA PLUS 1 SPACE PER EMPLOYEE
 = (2400 S.F.) / 1000 = 2 SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED: 23 SPACES
 PARKING SPACES PROVIDED: 23 SPACES PLUS 1 H.C.

- LEGEND FOR MONUMENTS**
- ⊕ IRON PIN SET
 - ⊕ IRON PIN END
 - RAILROAD SPIKE
 - FENCE-
 - SURVEY POINT
 - ▲ NAIL
 - CONC. MARKER FND.

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.

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RESERVED FOR FUTURE DEVELOPMENT

RESERVED FOR FUTURE DEVELOPMENT

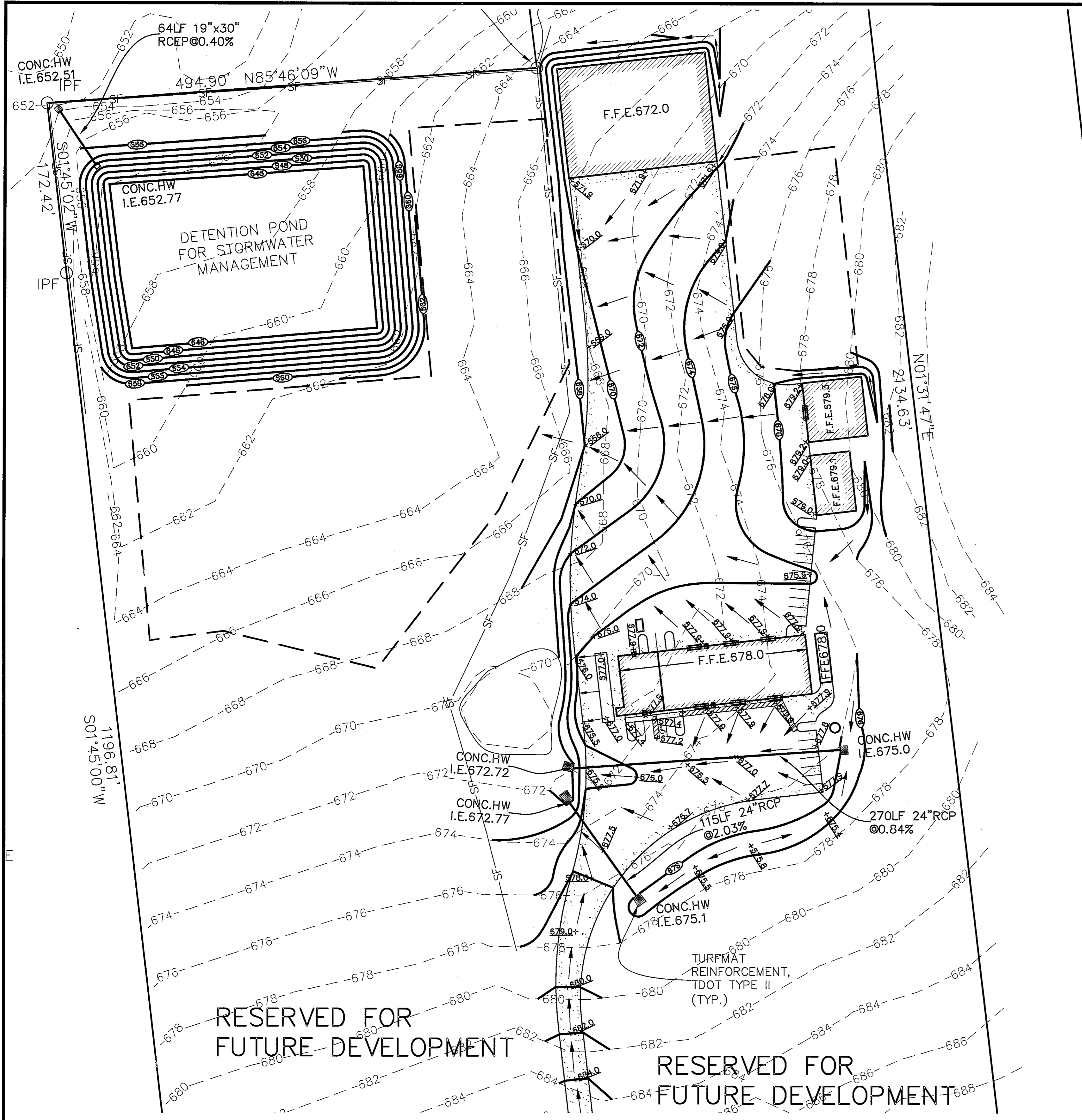


SITE PLAN

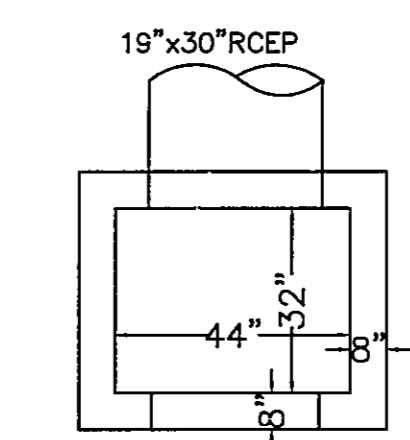
MULCH AND MORE

7TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

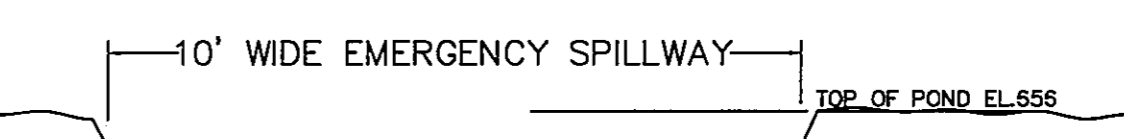
DATE: JANUARY, 2019 SCALE 1"=50' SH. 2 OF 6



OUTLET STRUCTURE DETAIL



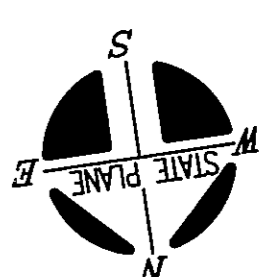
PLAN VIEW (N.T.S.)



FRONT VIEW (N.T.S.)

LEGEND

- ⊙ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- W— Existing Water Line
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- CMP— Corrugated Metal Pipe
- RCP— Reinforced Concrete Pipe



ZONING: LI (LIGHT INDUSTRIAL)
 FRONT SETBACK: 50'
 SIDE SETBACK: 20'
 REAR SETBACK: 20'

NOTES:

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MARY BOND PATTERSON
 REC.BK. 1534, PG. 1293
 ZONED: RM

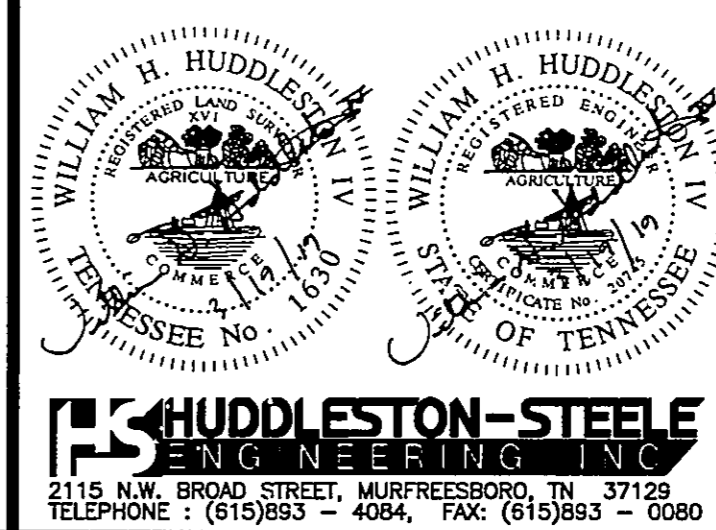
OWNER: HAMILTON AND MOORE, LP
 ADDRESS: 799 ELYSIAN FIELDS
 NASHVILLE, TN 37204
 TAX MAP: 77 PART OF PARCEL: 49
 FLOOD MAP PANEL: 470165 0118 J ZONE: X
 FLOOD MAP DATED: JANUARY 5, 2007
 FLOOD MAP PANEL: 470165 0119 H ZONE: X
 FLOOD MAP DATED: JANUARY 5, 2007
 FLOOD MAP PANEL: 470165 0235 H ZONE: X
 FLOOD MAP DATED: JANUARY 5, 2007

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- LEGEND FOR MONUMENTS**
- ⊙ IRON PIN SET
 - ⊙ IRON PIN FIND
 - ⊙ RAILROAD SPIKE
 - ⊙ FENCE
 - ⊙ SURVEY POINT
 - ⊙ NAIL
 - CONC. MARKER FIND

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GRADING AND DRAINAGE PLAN

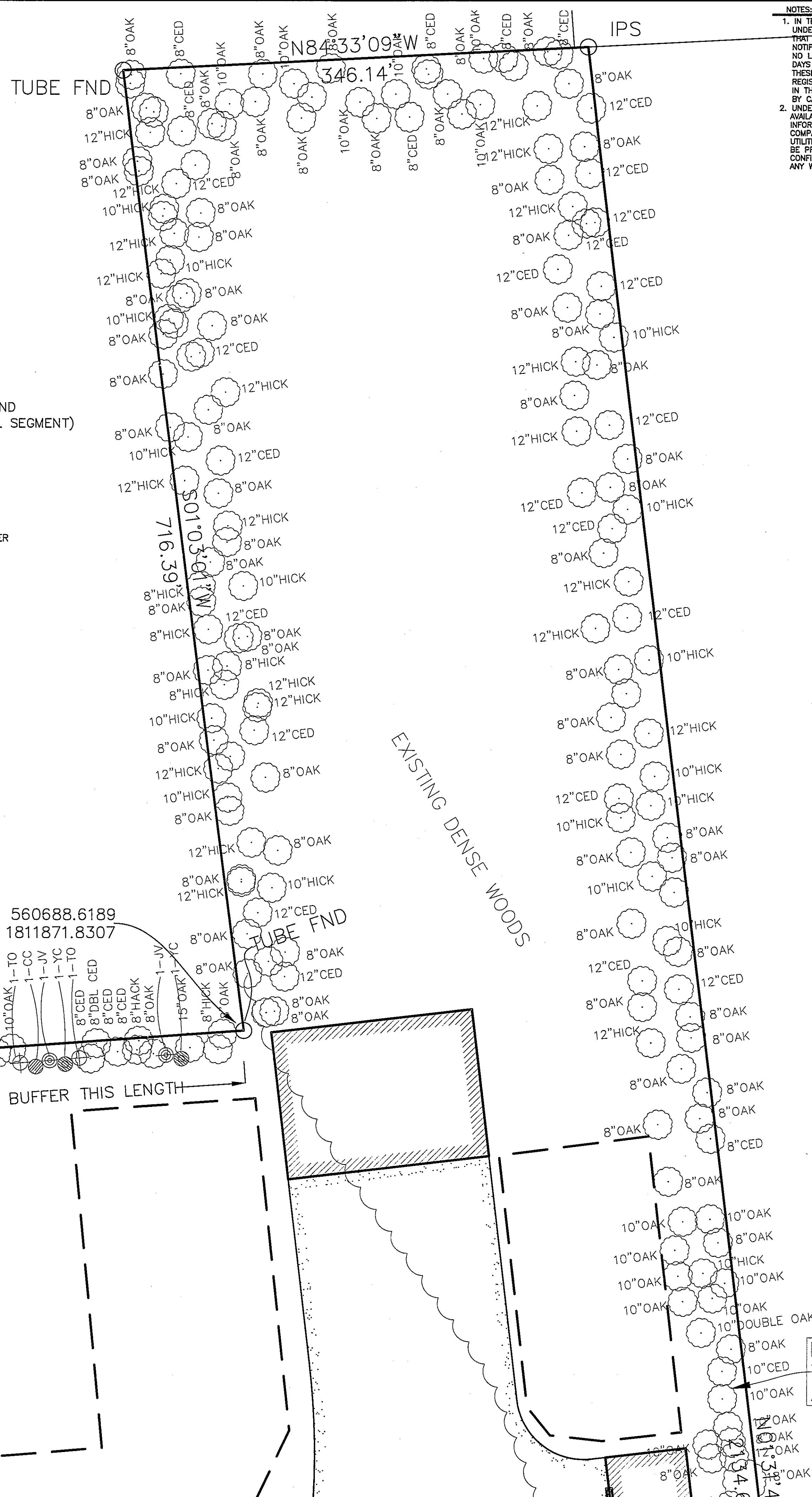
MULCH AND MORE

7TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

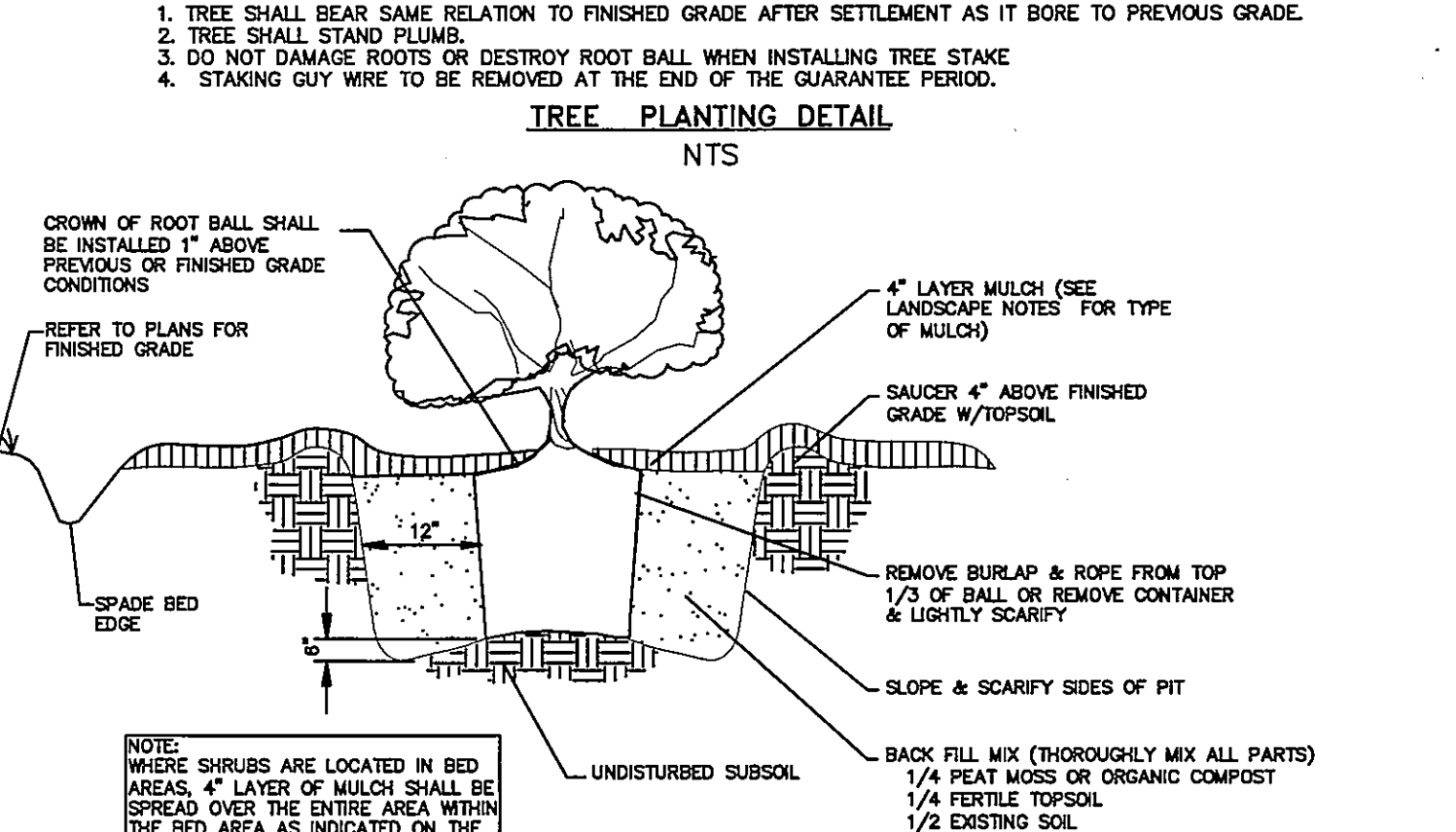
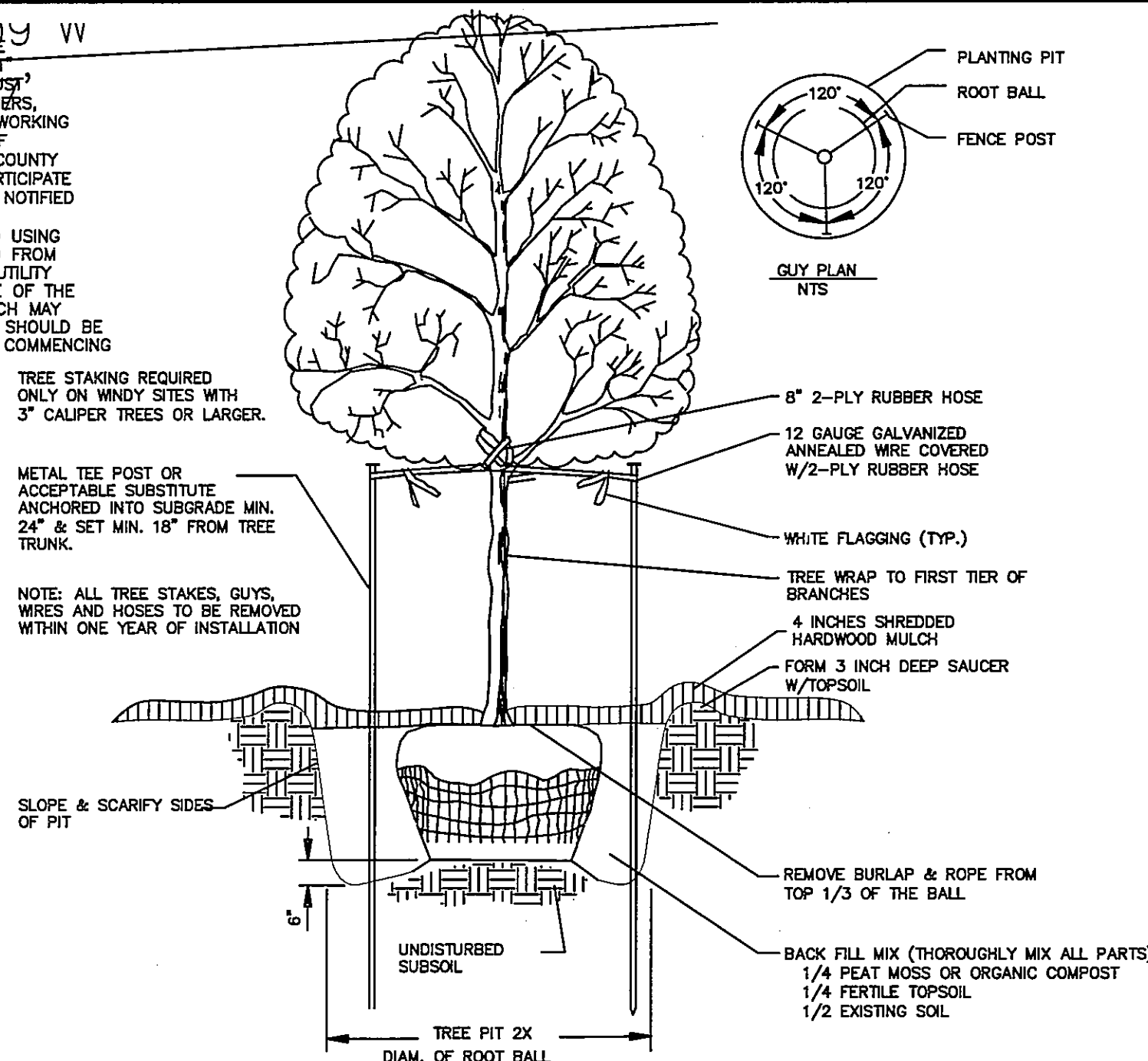
DATE: JANUARY, 2019 SCALE 1"=50' SH. 3 OF 6

RESERVED FOR FUTURE DEVELOPMENT

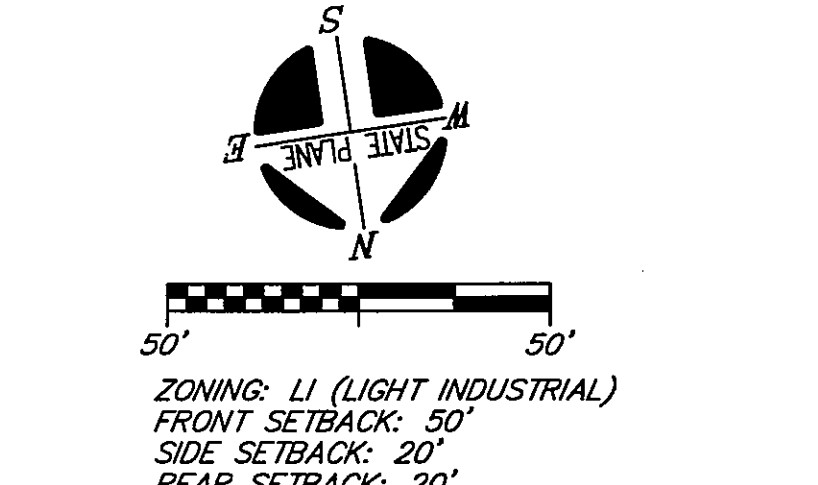
RESERVED FOR FUTURE DEVELOPMENT



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- PLANTING NOTES:**
- It is the responsibility of the landscape contractor to confirm all material quantities. In the event of a discrepancy, the quantities shown on the plan shall take precedence over the material schedule.
 - No substitutions as to type, size, or spacing of plant material specified on this plan may be made without the approval of the landscape architect or owner's representative.
 - Dimensions listed for heights, spread and trunk specifications on the plant material schedule are general guides for the minimum required size of each plant.
 - All plant materials to be nursery grown and to comply with the American Standard for Nursery Stock and the specification set forth in ANSI Z60.1-2004 or latest revision, for size and quality.
 - The landscape architect or owner's representative reserves the right to refuse any plant material or any defective workmanship.
 - New tree plantings to be staked per planting details.
 - All plants shall have a well-formed head with minimum canopy height and spread of the side branches as shown on the plant list. Trunks shall be undamaged and shape shall be typical of the species.
 - Measurement of canopy height shall include not more than fifty percent (50%) of this year's vertical growth (top canes).
 - All planting beds shall be mulched with a four inch layer of shredded hardwood mulch.
 - All planting and seeding areas shall be free from weeds prior to planting and mulching. Herbicide and/or mechanical removal of weeds shall be required. In hours complete weed removal. Any herbicide applications must be done a minimum of 2 weeks or more prior to time of planting.
 - All disturbed areas of the site are to be seeded and/or sodded in accordance with the specifications.
 - No excavation or planting pit shall be left open overnight.
 - It is the responsibility of the landscape contractor to verify that each excavated tree or shrub pit will percolate (drain) prior to adding topsoil and installing trees or shrubs. The contractor shall fill the bottom of selected holes with six inches of water. This water shall percolate out within a 24-hour period. The owner or landscape architect shall verify accuracy and effect of percolation testing. If the soil at a given area does not drain properly, a pvc drain or gravel ramp shall be installed at the planting site.
 - Should the landscape contractor encounter unsatisfactory surface or other subsurface drainage conditions, soil depth, latent soils, hard pan, stem of other utility lines or other conditions that will jeopardize the health and vigor of the plants, he must advise the landscape architect in writing of the conditions prior to installing the plants, otherwise the landscape contractor warrants that the planting areas are suitable proper growth and development of the plants to be installed.
 - No material shall be planted before final grading has been completed.
 - All beds are to be filled to a depth of 6" with the addition of: (1) 1/4 inch peat moss or organic compost per 40 sq. ft. of bed area; (2) 10-10-10 fertilizer per 1000 sq. ft. All conditions are to be spread and tilled into the soil uniformly.
 - Contractor shall notify the landscape architect or owner's representative when the plant materials are available at the job site for review prior to installation.
 - The contractor is responsible for fully matching all planting (including but not limited to: watering, spraying, mulching, fertilizing, etc.) of the planting areas and lawn until the work is accepted in total by the owner.
 - The contractor shall completely guarantee all plant material for a minimum period of one year including at least one growing season (March to November) from the date of total acceptance. The contractor shall promptly make all replacements before or at the end of the guarantee period.
 - All plant material which dies, turns brown, or deteriorates (prior to total acceptance of the work) shall be promptly removed from the site and replaced with material of the same species, quantity, and size and meeting all plant list specifications.



PLANT MATERIALS SCHEDULE						
KEY	QUANTITY	SCIENTIFIC NAME/ COMMON NAME	TRUNK	HEIGHT	SPREAD	REMARKS
YC	30	<i>Prunus yedoensis</i> / Yoshino cherry	1 1/2" MIN.			
CJ	26	<i>Cryptomeria japonica</i> / Japanese Cryptomeria		6' MIN.		
TO	33	<i>Thuja occidentalis</i> / Emerald Green Arborvitae		6' MIN.		
JV	15	<i>Juniperus virginiana</i> / Eastern Red Cedar		6' MIN.		
CC	28	<i>Cercis canadensis</i> / Eastern Redbud	1 1/2" MIN.			
AS	13	<i>Acer saccharum</i> / Sugar Maple		2" MIN.		
ICP	65	<i>Ilex cornuta rotunda</i> / Chinese Holly	24 inches			20 ONSITE

LANDSCAPING DATA:
 TOTAL OFF-STREET PARKING:
 26869 x 0.10 = 2687 S.F.± (REQUIRED)

LANDSCAPE AREA PROVIDED:
 PROPOSED TREES ALONG NORTH SIDE OF PARKING LOT: 4494 S.F.±

25'x100' STRIP (TYPE II BUFFER) ALONG SOUTH LINE:
 THERE IS ONE 100-FOOT BUFFER SEGMENT. IT REQUIRES 5 ORNAMENTAL TREES AND 4 ORNAMENTALS. WE ARE PROVIDING 5 PROPOSED EVERGREEN TREES AND 4 PROPOSED ORNAMENTAL TREES.

25'x600' STRIP (TYPE III BUFFER) ALONG EAST LINE:
 THERE ARE 6 100-FOOT BUFFER SEGMENTS. EACH TYPE II BUFFER 100-FOOT SEGMENT REQUIRES 5 EVERGREEN TREES AND 4 ORNAMENTAL TREES, WHICH TOTALS 30 EVERGREEN TREES AND 24 ORNAMENTAL TREES. WE ARE PROVIDING 30 PROPOSED EVERGREEN TREES AND 24 PROPOSED ORNAMENTAL TREES.

25'x800' STRIP (TYPE III BUFFER) ALONG WEST LINE:
 THERE IS EXISTING VEGETATION THAT WILL REMAIN TO SATISFY THE TYPE III BUFFER REQUIREMENT. THESE TREES HAVE BEEN LOCATED AND SHOWN ON THIS PLAN.

PARKING LOT TREES REQUIRED:
 (2687sf/200sf) = 13 TREES (13 PROPOSED)

PARKING LOT SHRUBS REQUIRED:
 (2687sf/50sf) = 54 SHRUBS (55 PROPOSED)

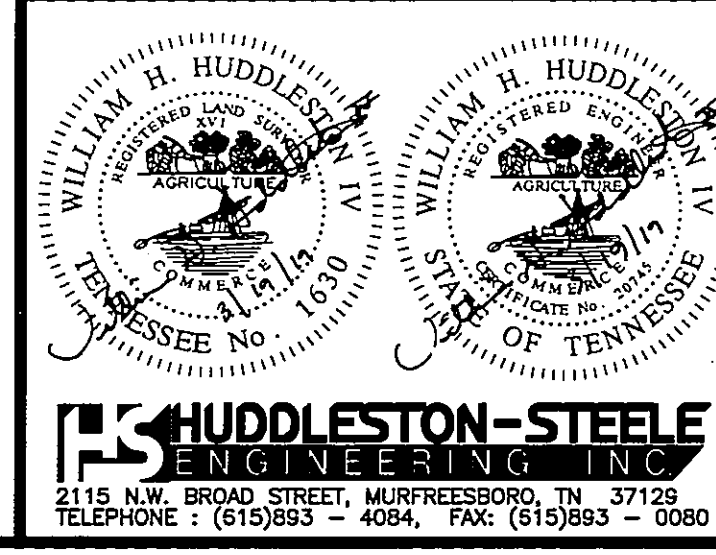
* BERM CONSTRUCTION TO REDUCE BUFFER REQUIREMENT FROM A TYPE III BUFFER TO A TYPE II BUFFER.
 * NO SHRUBS HAVE BEEN INCLUDED IN THE TYPE II BUFFER DUE TO THE HEIGHT AND SIDE SLOPES OF THE BERMS CREATED.

TOLBERT REAL ESTATE PARTNERS, LP
 R.B 887, PG. 3061
 ZONED: RM

OWNER: HAMILTON AND MOORE, LP
 ADDRESS: 759 ELIZABETH FIELDS
 NASHVILLE, TN 37204
 TAX MAP: 77 PART OF PARCEL: 49
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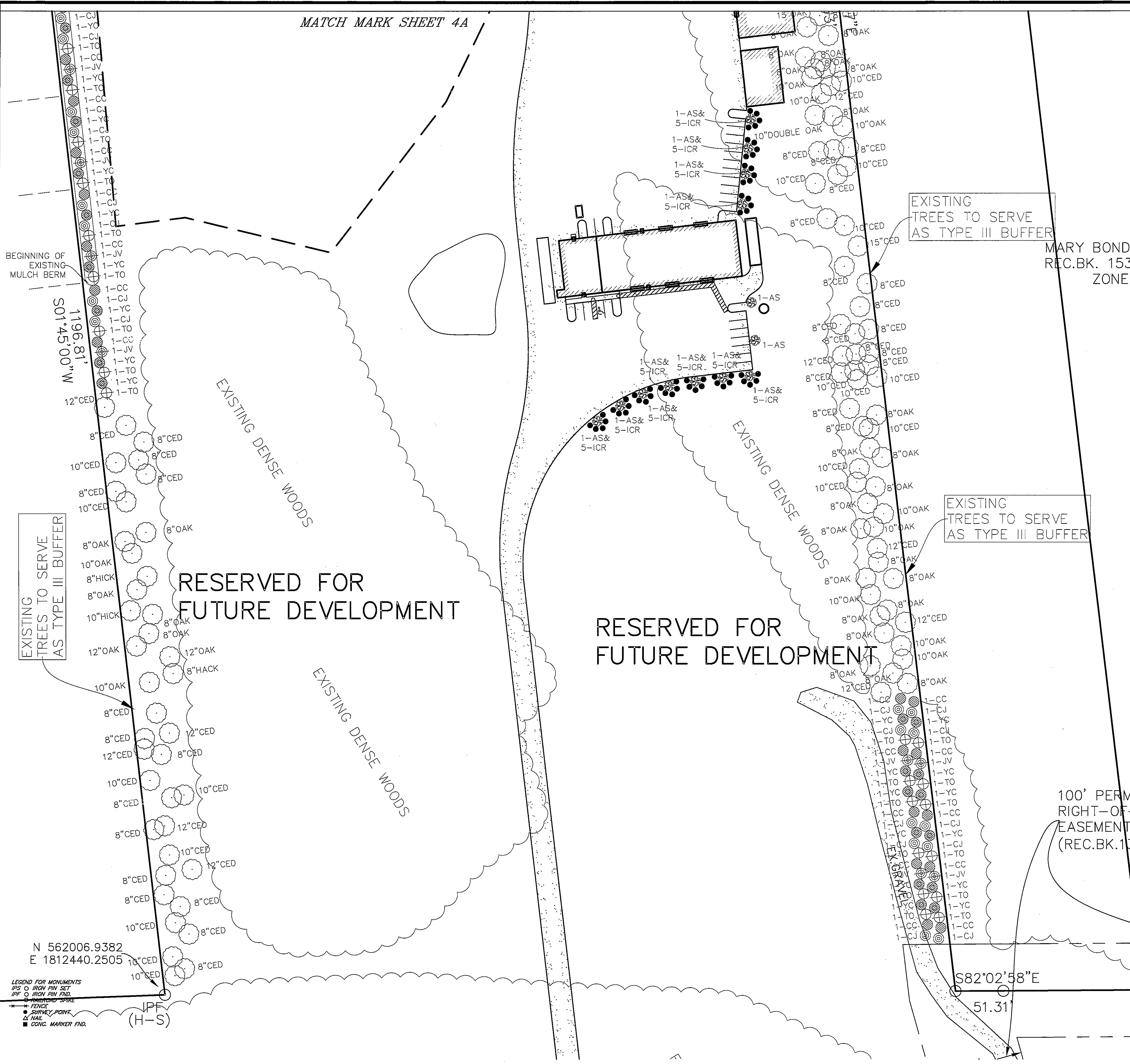
LANDSCAPING PLAN

MULCH AND MORE

7TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

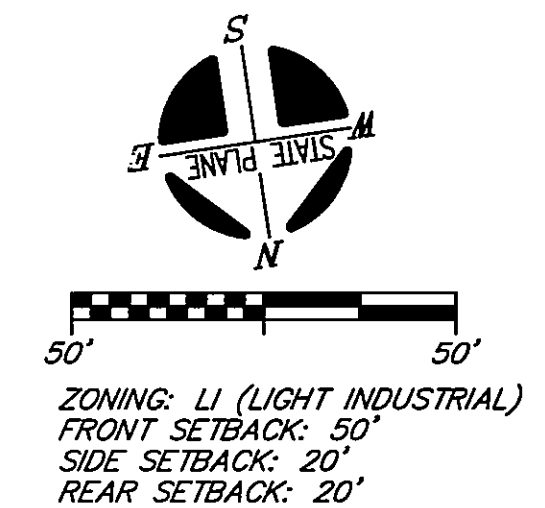
DATE: JANUARY, 2019 SCALE 1"=50' SH. 4A OF 6

MATCH MARK SHEET 4A



- PLANNING NOTES**
- It is the responsibility of the landscape contractor to confirm all material quantities. In the event of a discrepancy, the quantities shown on the plan shall take precedence over the material schedule.
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 - Dimensions listed for heights, spread and trunk specifications on the plant material schedule are general guides for the minimum required size of each plant.
 - All plant materials to be nursery grown and to comply with the American Standard for Nursery Stock and the specification set forth in ANSI Z601-2004 or latest revision, for size and quality.
 - The landscape architect or owner's representative reserves the right to refuse any plant material or any defective workmanship.
 - New tree plantings to be staked per planting details.
 - All plants shall have a well-formed head with minimum caliper, height and spread of the side branches as shown on the plant list. Trunks shall be undamaged and shape shall be typical of the species.
 - Measurement of caliper height shall include not more than fifty percent (50%) of this years vertical growth (top canes).
 - All planting beds shall be mulched with a four inch layer of shredded hardwood mulch.
 - All planting and seeding areas shall be free from weeds prior to planting and mulching. Herbicide and/or mechanical removal of weeds shall be required in hours complete weed removal. Any herbicide applications must be done a minimum of 2 weeks or more prior to time of planting.
 - All disturbed areas of the site are to be seeded and/or sodded in accordance with the specifications.
 - No excavation or planting pit shall be left open overnight.
 - It is the responsibility of the landscape contractor to verify that each recorded tree or shrub pit will penetrate (drill) prior to adding topsoil and installing trees or shrubs. The contractor shall fill the bottom of selected holes with six inches of water. This water should percolate out within a 24-hour period. The owner or landscape architect shall verify accuracy and effect of percolation testing. If the soil at a given area does not drain properly, a p v c drain or gravel sump shall be installed or the planting relocated.
 - Should the landscape contractor encounter unsatisfactory surface or other subsurface drainage conditions, soil depth, latent soils, hard pan, stem of other utility lines or other conditions that will jeopardize the health or growth of the plants, he must advise the landscape architect in writing of the conditions prior to installing the plants, otherwise the landscape architect warrants that the planting areas are suitable proper growth and development of the plants to be installed.
 - No material shall be planted before finish grading has been completed.
 - All beds are to be tilled to a depth of 8" with the addition of (1) 6 cu. Ft. Rate of sphagnum peat moss or organic compost per 40 sq. Ft. of bed area (20g) 10-10-10 fertilizer per 1000 sq. Ft. All additions are to be spread and tilled into the soil uniformly.
 - Contractor shall notify the landscape architect or owner's representative when the plant materials are available at the job site for review prior to installation.
 - The contractor is responsible for fully maintaining all planting (including but not limited to: watering, spraying, mulching, fertilizing, etc.) of the planting areas and lawn until the work is accepted in total by the owner.
 - The contractor shall completely guarantee all plant material for a minimum period of one year including at least one growing season (March to November) from the date of total acceptance. The contractor shall promptly make all replacements before or at the end of the guarantee period.
 - All plant material which dies, turns brown, or defoliate (prior to total acceptance of the work) shall be promptly removed from the site and replaced with material of the same species, quantity, and size and meeting all plant list specifications.

MARY BOND PATTERSON
REC.BK. 1534, PG. 1293
ZONED: RM



OWNER: HAMILTON AND MOORE, LP
ADDRESS: 799 ELYSIAN FIELDS
NASHVILLE, TN 37204
TAX MAP: 77 PART OF PARCEL: 49
FLOOD MAP PANEL: 470165 0118 J ZONE: X
FLOOD MAP DATED: JANUARY 5, 2007
FLOOD MAP PANEL: 470165 0119 H ZONE: X
FLOOD MAP DATED: JANUARY 5, 2007
FLOOD MAP PANEL: 470165 0235 H ZONE: X
FLOOD MAP DATED: JANUARY 5, 2007
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

#	DATE	REVISION DESCRIPTION
1	02/22/19	ADDRESSED COUNTY STAFF COMMENTS
2	03/11/19	ADDRESSED ADDITIONAL COUNTY STAFF COMMENTS
3	03/19/19	ADDRESSED ADDITIONAL COUNTY STAFF COMMENTS

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 6820-3-.07.



LANDSCAPING PLAN

MULCH AND MORE

7TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DATE: JANUARY, 2019 SCALE 1"=50' SH. 4B OF 6

LEGEND FOR MONUMENTS
 IFS ○ IRON PIN SET
 IFF ○ IRON PIN FND.
 ○ TOWERED STAKE
 * FENCE
 ● SURVEY POINT
 △ NAIL
 ■ CONC. MARKER FND.

N 562006.9382
E 1812440.2505

S82°02'58"E
51.31

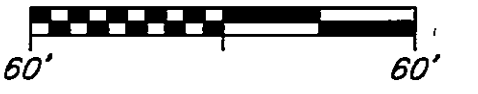
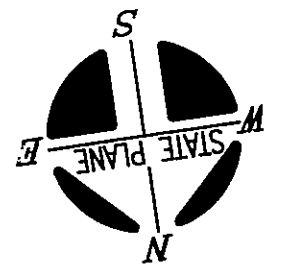
100' PERMANENT
RIGHT-OF-WAY
EASEMENT
(REC.BK.1386/1404)

#	DATE	REVISION DESCRIPTION
1	02/22/19	ADDRESSED COUNTY STAFF COMMENTS
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**SILTATION
FENCE**

LEGEND

- ⊗ Power Pole
- ⊕ Existing Fire Hydrant
- ⊙ Proposed Fire Hydrant
- ⊖ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊙ Concrete Thrust Block
- W— Existing Water Line
- W— Proposed Water Line
- S— Existing Sanitary Sewer Line
- S— Proposed Sanitary Sewer Line
- ⊙ Existing Manhole
- ⊙ Proposed Manhole
- CD Sewer Line Check Dam
- OO— Existing Contours
- OO— Proposed Contours
- 00.0 Existing Spot Elevations
- 00.0 Proposed Spot Elevations
- SF Siltation Fence
(to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Turf Reinforcement Mat
- E— Existing Telephone & Electric Line
- UGE— Existing Underground Electric Line
- CMP— Corrugated Metal Pipe
- RCP— Reinforced Concrete Pipe



ZONING: LI (LIGHT INDUSTRIAL)
FRONT SETBACK: 50'
SIDE SETBACK: 20'
REAR SETBACK: 20'

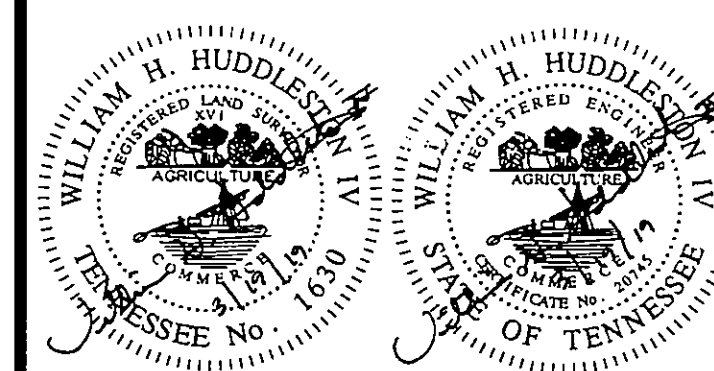
NOTES:

- IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
- UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.

OWNER: HAMILTON AND MOORE, LP
ADDRESS: 799 ELYSIAN FIELDS
NASHVILLE, TN 37204
TAX MAP: 77 PART OF PARCEL: 49
FLOOD MAP PANEL: 470165 0118 J ZONE: X
FLOOD MAP DATED: JANUARY 5, 2007
FLOOD MAP PANEL: 470165 0119 H ZONE: X
FLOOD MAP DATED: JANUARY 5, 2007
FLOOD MAP PANEL: 470165 0235 H ZONE: X
FLOOD MAP DATED: JANUARY 5, 2007
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

LEGEND FOR MONUMENTS
IPF ○ IRON PIN SET
IPF ○ IRON PIN FND.
○ RAILROAD SPIKE
—+— FENCE
● SURVEY POINT
▲ NAIL
■ CONV. MARKER FND.

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.



W. H. HUDDLESTON-STEELE
ENGINEERING
2115 N.W. BROAD STREET, MURFREESBORO, TN 37125
TELEPHONE: (615)853-4084, FAX: (615)853-0080

INITIAL MEASURES

EROSION PREVENTION/SEDIMENT CONTROL PLAN

MULCH AND MORE

7TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DATE: JANUARY, 2019 SCALE 1"=60' SH. 5 OF 6

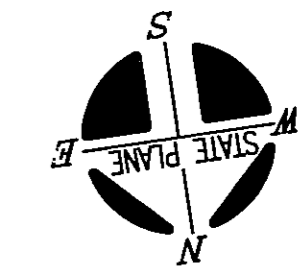
TOLBERT REAL ESTATE PARTNERS, LP
R.B 887, PG. 3061
ZONED: RM

MARY BOND PATTERSON
REC.BK. 1534, PG. 1293
ZONED: RM

#	DATE	REVISION DESCRIPTION
1	02/22/19	ADDRESSED COUNTY STAFF COMMENTS
2	03/11/19	ADDRESSED ADDITIONAL COUNTY STAFF COMMENTS
3	03/19/19	ADDRESSED ADDITIONAL COUNTY STAFF COMMENTS

LEGEND

- ⊘ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- △ Reducer
- ⊙ Proposed Gate Valve & Box
- ▲ Concrete Thrust Block
- W— Existing Water Line
- W— Proposed Water Line
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- RCP— Reinforced Concrete Pipe



ZONING: LI (LIGHT INDUSTRIAL)
 FRONT SETBACK: 50'
 SIDE SETBACK: 20'
 REAR SETBACK: 20'

- NOTES:**
- IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
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 ADDRESS: 799 ELYSIAN FIELDS
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TAX MAP: 77 PART OF PARCEL: 49
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 FLOOD MAP PANEL: 470165 0235 H ZONE: X
 FLOOD MAP DATED: JANUARY 5, 2007

NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

- LEGEND FOR MONUMENTS**
- ⊕ IRON PIN SET
 - ⊕ IRON PIN END
 - GALVANIZED SPIKE
 - FENCE
 - SURVEY POINT
 - ▲ WALL
 - CONC. MARKER FND.

**SEED AND STRAW
 ALL DISTURBED
 AREAS FOR
 STABILIZATION
 (TYP.)**

100' PERMANENT
 RIGHT-OF-WAY
 EASEMENT

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0620-3-.07.



FINAL MEASURES

EROSION PREVENTION/SEDIMENT CONTROL PLAN

MULCH AND MORE

7TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DATE: JANUARY, 2019 SCALE 1"=60' SH. 6 OF 6

REAL ESTATE
 NERS, LP
 7, PG. 3061
 VED: RM

