

Rutherford County Regional Planning Commission

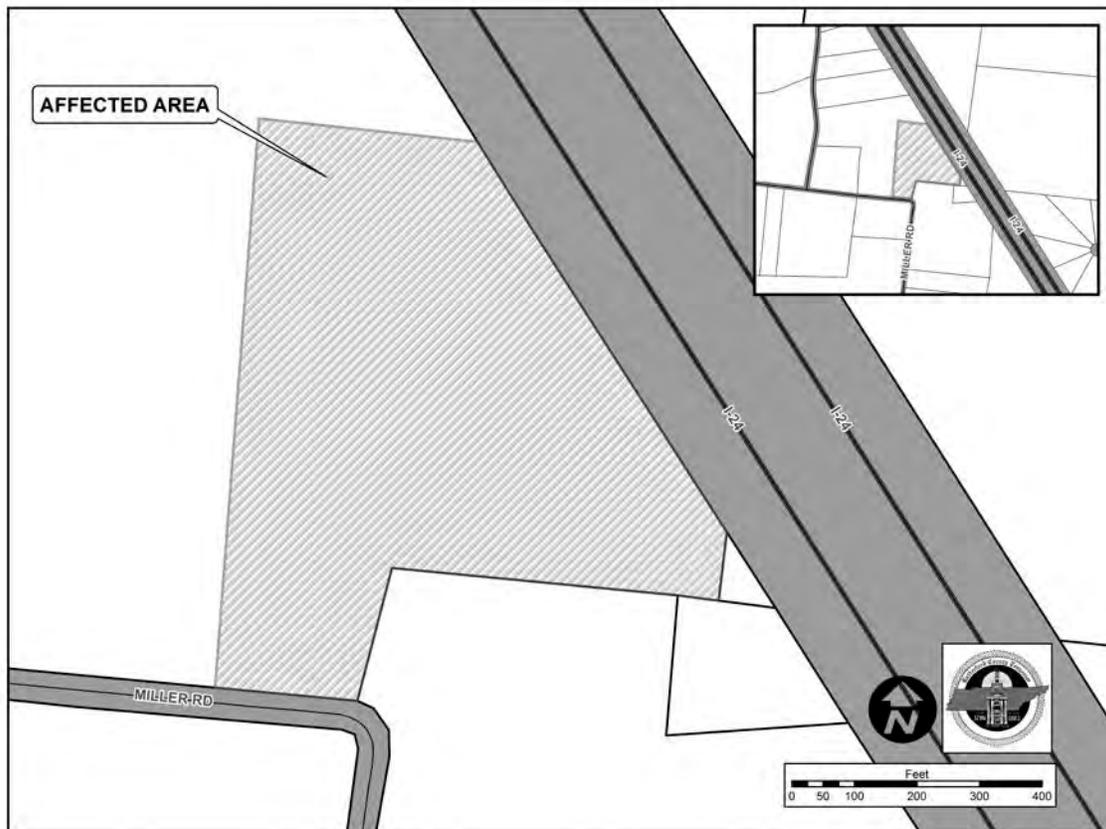
Agenda – 8-8-16 – 6:00 PM

Historic County Courthouse – 2nd Floor

- I. CALL TO ORDER**
 - II. PRAYER/PLEDGE OF ALLEGIANCE**
 - III. ROLL CALL/DETERMINATION OF QUORUM**
 - IV. APPROVAL OF THE MINUTES**
 - V. ITEMS WITHDRAWN/DEFERRED**
 - VI. NEW BUSINESS**
 - A. REZONING REQUESTS/PUBLIC HEARINGS**
 - 1. Charles Mullins (16-A014)
Location: 3711 Old Woodbury Highway
Commissioner District: 4 (Robert Peay, Jr.)
Size of Site: Approximately .5 acres
Tax Map: 104, Parcel: 116.03
Existing Zoning: Residential Medium-Density (RM)
Proposed Zoning: Commercial Neighborhood (CN)
- VII. OLD BUSINESS**
 - A. SUBMITTED FOR SITE PLAN APPROVAL**
 - 1. Buchanan Storage (16-3018) – New construction of 20,750 square feet of personal services space (Mini-Warehouses) on 10.00 acres, zoned EAC, located along Miller Road, Buchanan Storage applicant
- VIII. STAFF REPORTS/OTHER BUSINESS**
- IX. ADJOURNMENT**

Rutherford County Regional Planning Commission August 8, 2016 Staff Comments

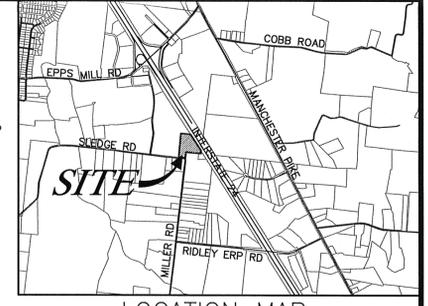
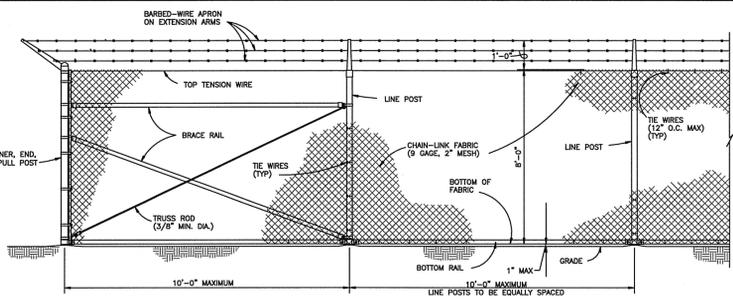
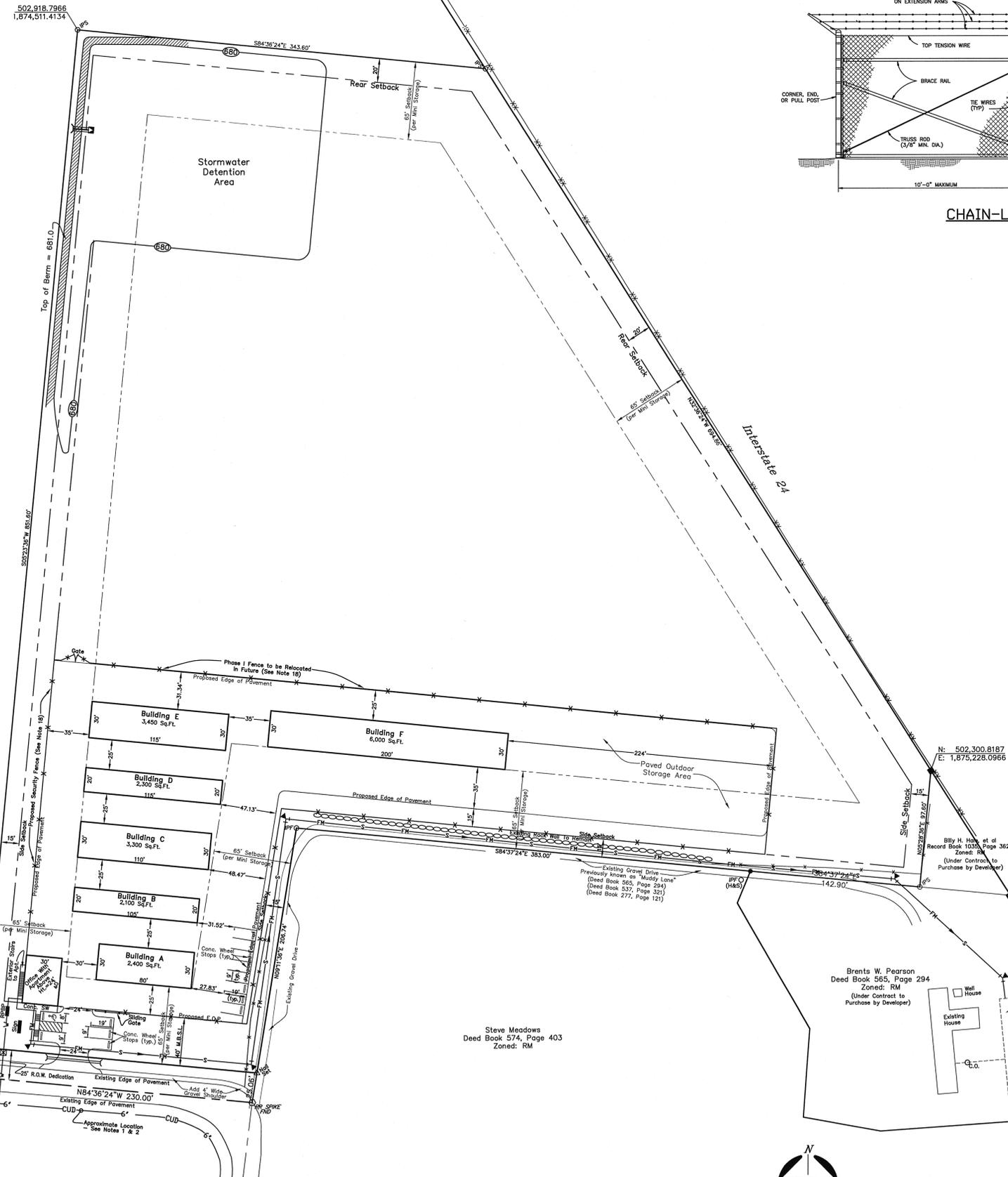
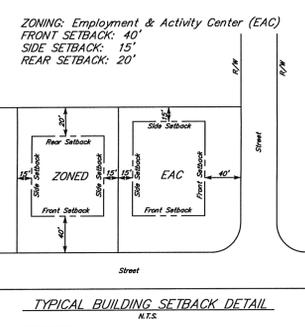
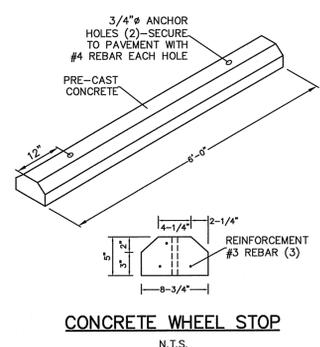
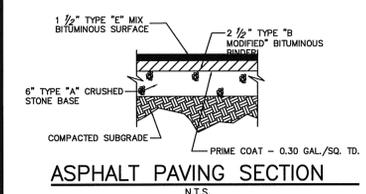
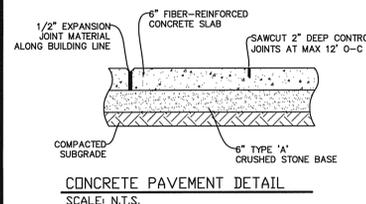
Plat/Plan Name: Buchanan Storage (16-3016)
Request: Site Plan Approval
Site Details: New construction of 20,750 square feet of personal services space (Mini-warehouses) on 10.00 acres, zoned EAC
Applicant: Buchanan Storage
Property Location: Miller Road



The site plan application was deferred from the Planning Commission's July 25, 2016 meeting. There were a number of issues that needed to be resolved that pertained to the septic field line areas and drainage. Staff will provide an update at the meeting as to the status of this project.

LEGEND

- ⊙ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- △ Reducer
- ⊕ Proposed Gate Valve & Box
- ▭ Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- 000.0 Existing Spot Elevations
- 000.0 Proposed Spot Elevations



- PLAT NOTES**
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. These utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-357-1111.
 - Underground utilities shown were located using available above-ground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
 - It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
 - Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
 - Public utility and drainage easements shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
 - Properties adjacent to the site of land disturbance shall be protected from sediment deposition. This may be accomplished by preserving a well-vegetated buffer strip around the lower perimeter of the land disturbance; by installing perimeter controls such as sediment barriers, filters, or dikes, or sediment basins; or by a combination of such measures.
 - Permanent or temporary soil stabilization shall be applied to denuded areas within 15 days after final grade is reached on any portion of the site. Soil stabilization shall also be applied within 15 days to denuded areas which may not be at final grade, but will remain dormant (undisturbed) for longer than 60 days.
 - Utilities shown are as proposed and not necessarily installed.
 - This property is within the service area for Consolidated Utility District (CUD). Specific requirements for water service should be directed to Mr. Bill Dunhill, who can be contacted at 615-893-7225.
 - Per RCRPC, a photometric plan meeting the requirements of the RCRPC zoning ordinance shall be submitted by the owner prior to issuance of a grading permit.
 - Per RCRPC, this development must adhere to the regulation found in Section 1103 C.3 Mini Warehouses.
 - EPSC Measures are designed for the 2-year, 24-hour storm event.
 - Per RCRPC, Detention Pond As-Built and Long Term Maintenance Agreement must be provided to County Engineer's office prior to application for certificate of occupancy.
 - The purpose of this Site Plan is to obtain approval from Rutherford County to build a Storage Facility as depicted.
 - The Rutherford County Board of Zoning Appeals granted a special exception at their July 13, 2016 meeting.
 - Security fence and Phase I fence to be 8 foot high chain link with 3 strand barbed wire on top inclined bar.
 - Per the Rutherford County Fire Department, a yelp sensor will need to be installed at the gate for emergency vehicles. Contact R.C.F.D. for fire code/protection requirements.
 - Per the R.C.F.D., approval of the Site Plan does not constitute approval of any signage. Signage requires a separate permit.

SITE PLAN-CERTIFICATE OF WATER
I hereby certify that the site plan entitled Buchanan Storage has been approved Consolidated Utility District of Rutherford County for water service, provided, however, that the lines, valves, and fittings must be installed in accordance with C.U.D.R.C. specifications as determined by its engineers. No water service will be provided until that certification has been made in writing.

Date _____ Consolidated Utility District Official _____

Certification of general Approval for Installation of Subsurface Sewage Disposal System with Restrictions
General approval is hereby granted for lots proposed hereon as being suitable for subsurface sewage disposal with the listed and/or attached restrictions. Before the initiation of construction the location of the house or other structure and plans for the subsurface sewage disposal system shall be approved by the TDEC Division of Ground Water Protection.

Date _____ T.D.E.C. / D.W.R. _____

CERTIFICATE OF APPROVAL OF ELECTRICAL POWER
Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the Rules and Regulations, By-laws, Policy Bulletins of MTEMC. No electric service will be provided until MTEMC's requirements have been met and approved in writing by an authorized representative of MTEMC.

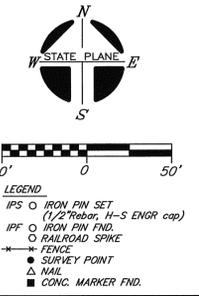
Date _____ MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION _____

SITE DATA

TOTAL LOT SIZE: 435,600 Sq.Ft. = 10.00± Acres
 TOTAL PROPOSED IMPERVIOUS = 75,709 Sq.Ft.

BUILDINGS: OFFICE = 1,200 Sq.Ft.
 MINI STORAGE = 19,550 Sq.Ft.
 IMPERVIOUS = 20,750 Sq.Ft.

OPEN SPACE RATIO: OPEN SPACE / FLOOR AREA = 414,850 Sq.Ft./21,950 Sq.Ft. = 18.90
 FLOOR AREA RATIO: FLOOR AREA / GROSS LAND AREA = 21,950 Sq.Ft./425,600 Sq.Ft. = 5.04%
 LIVABILITY SPACE RATIO: LIVABILITY SPACE / FLOOR AREA = 359,891 Sq.Ft./21,950 Sq.Ft. = 16.40

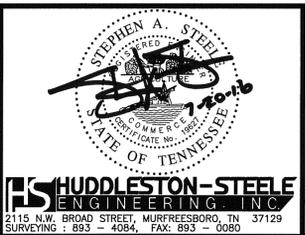


DEVELOPER: Buchanan Storage
 c/o Aaron Duggin
 ADDRESS: 9688 Sims Road
 Christiana, TN 37037

OWNER: John Brothers, et ux
 ADDRESS: 228 Churchill Farms Road
 Murfreesboro, TN 37127

Tax Map 156, Part of Parcel 46.00
 Record Book 419, Page 1521

THIS PARCEL IS NOT LOCATED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 47065, PANEL NO. 0404H, ZONE: X, DATED 01-05-07.



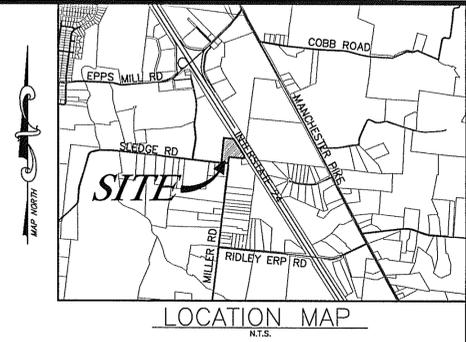
Site Plan-Phase I
BUCHANAN STORAGE

25th Civil District of Rutherford County, Tennessee

Date: June, 2016 Scale: 1"=50' Sheet 1 of 6

N: 502,918.7966
E: 1,874,511.4134

- LEGEND**
- ⊕ Power Pole
 - ⊕ Existing Fire Hydrant
 - G — Existing Gas Line
 - UGT — Existing Underground Telephong Line
 - W — Existing Water Line
 - E — Existing Electric Line
 - 000 — Existing Contours

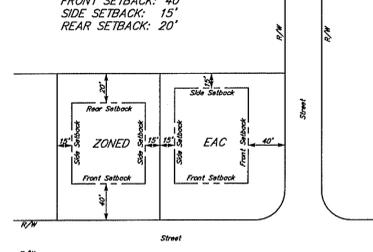


PLAT NOTES

1. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
2. Underground utilities shown were located using available above-ground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
3. It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
4. Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
5. Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
6. The topographic portion of this survey was performed using the following global positioning system (GPS) survey equipment: TOPCON Hiper Plus-Model #01-B40-01 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods.



ZONING: Employment & Activity Center (EAC)
FRONT SETBACK: 40'
SIDE SETBACK: 15'
REAR SETBACK: 20'



- LEGEND**
- IPS ○ IRON PIN SET
 - IPF ○ IRON PIN FND.
 - RAILROAD SPIKE
 - FENCE
 - SURVEY POINT
 - ▲ NAIL
 - CONC. MARKER FND.

DEVELOPER: Buchanan Storage
c/o Aaron Duggin
ADDRESS: 9668 Silms Road
Christiana, TN 37037

OWNER: John Brothers, et ux
ADDRESS: 228 Churchill Farms Road
Murfreesboro, TN 37127
Tax Map 156, Part of Parcel 46.00
Record Book 419, Page 1521

THIS PARCEL IS NOT LOCATED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 470165, PANEL NO. 0404H, ZONE: X, DATED 01-05-07.

This survey is a TOPOGRAPHIC SURVEY for INFORMATION ONLY and is NOT A GENERAL PROPERTY SURVEY as defined under RULE 0820-3-.07



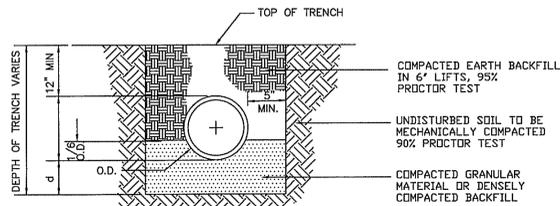
NO.	DATE	DESCRIPTION
0	06-10-16	Original Issue
1	07-19-16	Revised per Staff Comments

EXISTING CONDITIONS

BUCHANAN STORAGE

25th Civil District of Rutherford County, Tennessee

Date: April, 2016 Scale: 1"=50' Sheet 2 of 6



NOTES:

- WHEN PIPE IS TO BE PLACED IN A FILL SECTION THE COMPACTED FILL SHALL BE PLACED A MIN. OF 12" ABOVE THE PIPE ELEVATION BEFORE THE TRENCH IS EXCAVATED.
- SUBGRADES SHOULD BE EXCAVATED, IF NECESSARY, SO A UNIFORM FOUNDATION FREE OF PROTRUDING ROCKS MAY BE PROVIDED.

PIPE DIA.	D (MIN)
27" & SMALLER	3"
30" TO 60"	4"
66" & LARGER	6"

**TRENCH BEDDING FOR STORM DRAIN
CMP AND RCP ONLY**
NTS

SIZE	AW	AW	AW	AW
A	32"	48"	80"	96"
B	48"	72"	102"	120"
C	30"	44"	54"	66"
D	26"	36"	46"	56"
E	24"	36"	44"	52"
F	4"	8"	8"	8"

MAX. OPENING 22" 32" 55" 75"

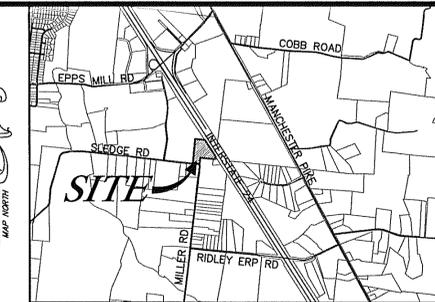
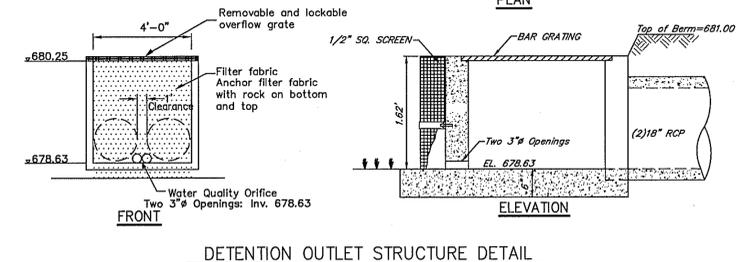
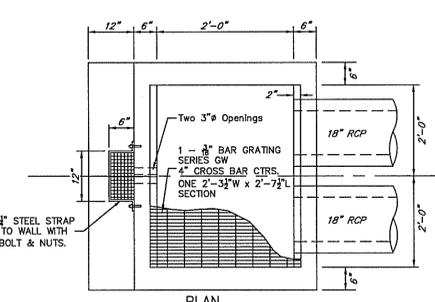
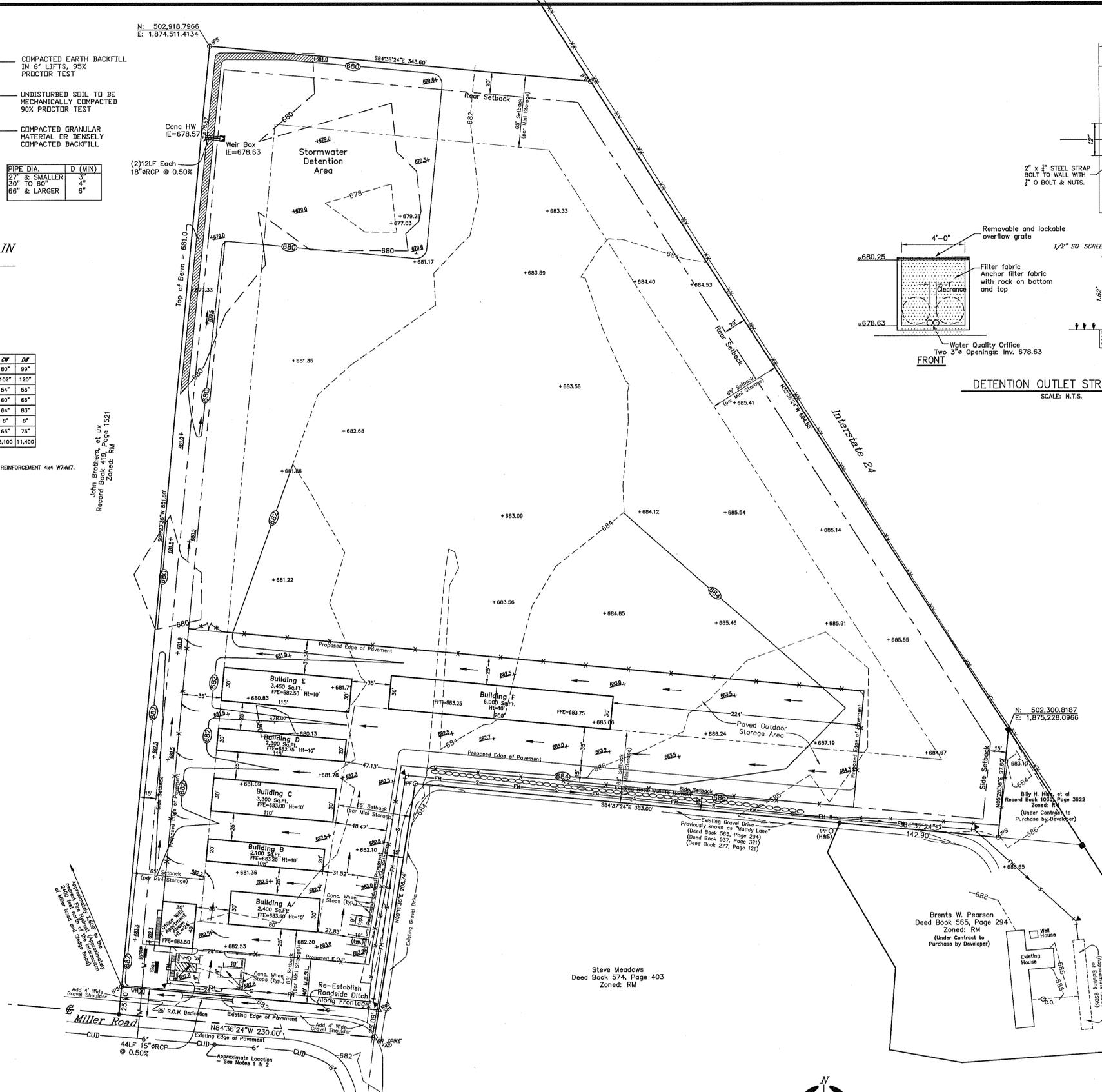
WT/A 1,300 3,100 6,100 11,400

GENERAL NOTES:

- MINIMUM REINFORCING: WIRE REINFORCEMENT 4x4 W7/W7.
- Fc - 4,500 PSI.
- Fy - 60KSI.

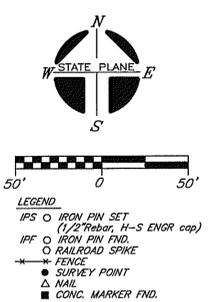
CONCRETE HEADWALL DETAIL
NOT TO SCALE

John Brothers, et ux
Record Book 419, Page 1521



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 - Utilities shown are as proposed and not necessarily installed.
 - This property is within the service area for Consolidated Utility District (CUD). Specific requirements for water service should be directed to Mr. Bill Durnill, who can be contacted at 615-893-7225.
 - Per The Rutherford County Regional Planning Commission (R.C.R.P.C.), all roof drains' down spouts must drain to proposed storm drainage network and not empty to by-pass ditch or offsite.
 - Per R.C.R.P.C., a photometric plan meeting the requirements of the R.C.R.P.C. Zoning ordinance shall be submitted by the owner prior to issuance of a grading permit.
 - Per R.C.R.P.C., this development must adhere to the regulation found in Section 1103 C.I. Mini Warehouses.
 - Per R.C.R.P.C., if lighting is to be provided, an approved photometric plan will be required.
 - EPSC Measures are designed for the 2-year, 24-hour storm event.
 - Per R.C.R.P.C., Detention Fund As-Builts and Long Term Maintenance Agreement must be provided to County Engineer's office prior to application for certificate of occupancy.
 - The purpose of this Site Plan is to obtain approval from Rutherford County to build a Storage Facility as depicted.
 - The Rutherford County Board of Zoning Appeals granted a special exception at their July 13, 2016 meeting.
 - Security fence and Phase 1 fence to be 8 foot high chain link with 3 strand barbed wire on top inclined bar.
 - Per the Rutherford County Fire Department, a yelp sensor will need to be installed at the gate for emergency vehicles. Contact R.C.F.D. for fire code/protection requirements.
 - Per the R.C.R.P.C., approval of the Site Plan does not constitute approval of any signage. Signage requires a separate permit.

- LEGEND**
- Power Pole
 - Existing Fire Hydrant
 - Proposed Fire Hydrant
 - Reducer
 - Proposed Gate Valve & Box
 - Concrete Thrust Block
 - Existing Water Line
 - Proposed Water Line
 - Existing Sanitary Sewer Line
 - Proposed Sanitary Sewer Line
 - Existing Manhole
 - Proposed Manhole
 - Sewer Line Check Dam
 - Existing Contours
 - Proposed Contours
 - Existing Spot Elevations
 - Proposed Spot Elevations
 - Siltation Fence
 - Turf Reinforcement Mat
 - Stone Check Dam
 - Storm Drain Inlet Protection
 - Proposed Light; 20' Pole, Shoebox with 4 Bulbs

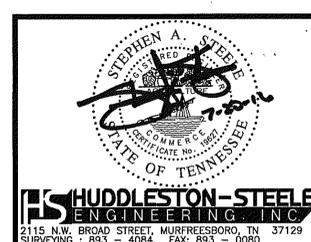


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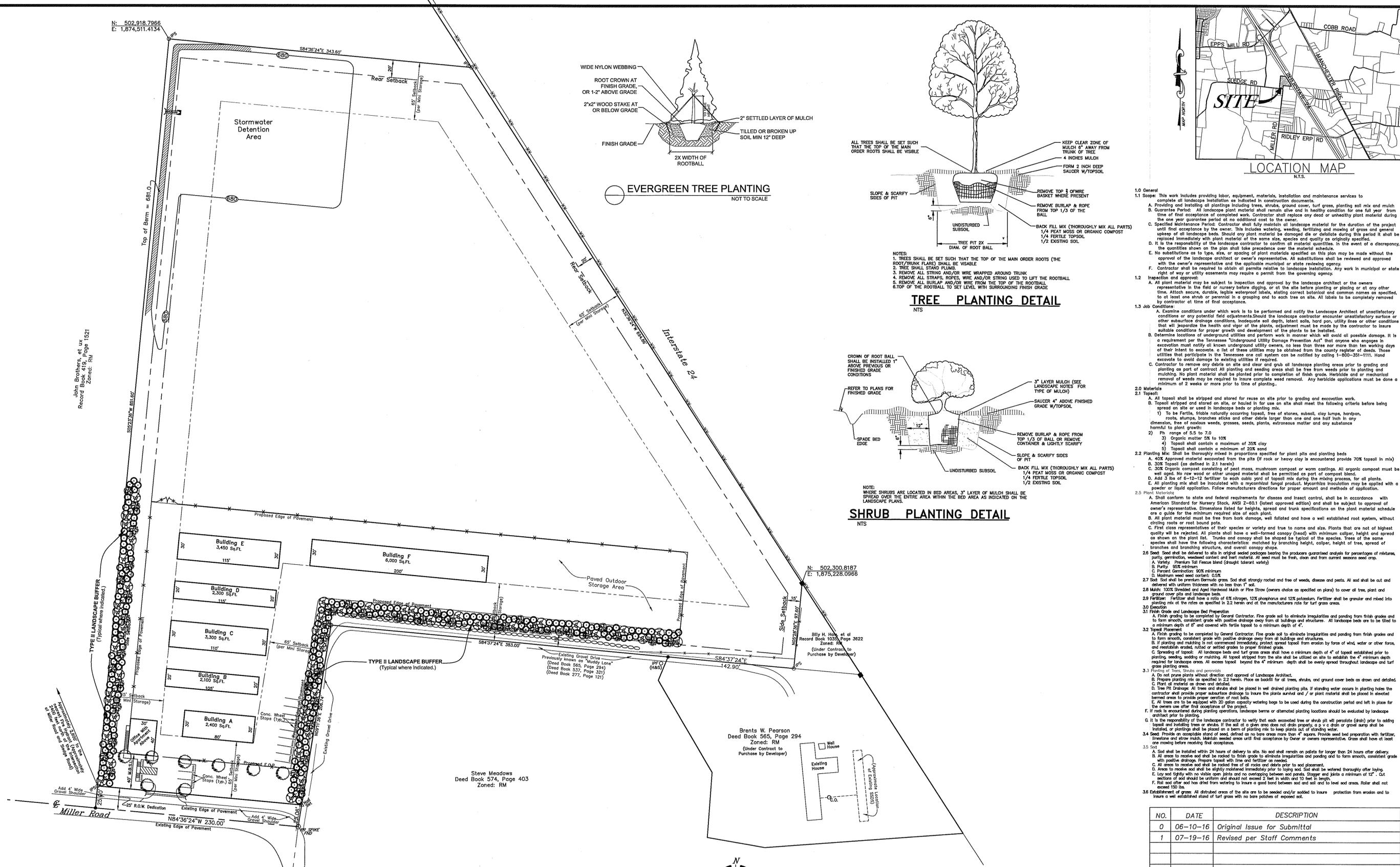
Drainage Plan-Phase I

BUCHANAN STORAGE

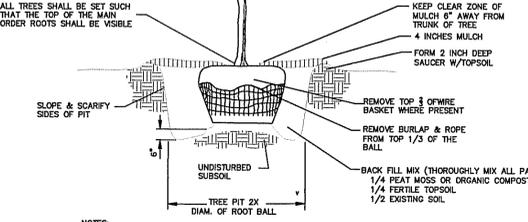
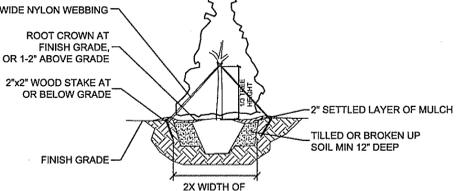
25th Civil District of Rutherford County, Tennessee

Date: June, 2016 Scale: 1"=50' Sheet 3 of 6

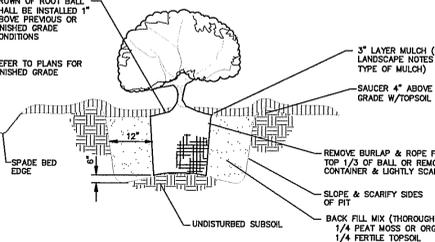
N: 502,918,7966
E: 1,874,511,4134



EVERGREEN TREE PLANTING
NOT TO SCALE



- NOTES:**
- TREES SHALL BE SET SUCH THAT THE TOP OF THE MAIN ORDER ROOTS (THE ROOT/TRUNK FLARE) SHALL BE VISIBLE.
 - TREE SHALL STAND UPRIGHT.
 - REMOVE ALL STRING AND/OR WIRE WRAPPED AROUND TRUNK.
 - REMOVE ALL STRAPS, ROPES, WIRE AND/OR STRING USED TO LIFT THE ROOTBALL.
 - REMOVE ALL BURLAP AND/OR WIRE FROM THE TOP OF THE ROOTBALL.
 - TOP OF THE ROOTBALL TO SET LEVEL WITH SURROUNDING FINISH GRADE.



- NOTE:** WHERE SHRUBS ARE LOCATED IN BED AREAS, 3" LAYER OF MULCH SHALL BE SPREAD OVER THE ENTIRE AREA WITHIN THE BED AREA AS INDICATED ON THE LANDSCAPE PLANS.

SHRUB PLANTING DETAIL
N.T.S.

- 1.0 General**
- 1.1 Scope: This work includes providing labor, equipment, materials, installation and maintenance services to complete all landscape installation as indicated in construction documents.
- A. Providing and installing all plantings including trees, shrubs, ground cover, turf grass, planting soil mix and mulch.
- B. Guarantee Period: All landscape plant material shall remain alive and in healthy condition for one full year from time of final acceptance of completed work. Contractor shall replace any dead or unhealthy plant material during the one year guarantee period at no additional cost to the owner.
- C. Specified Maintenance Period: Contractor shall fully maintain all landscape material for the duration of the project until final acceptance by the owner. This includes watering, weeding, fertilizing and mowing of grass and general upkeep of all landscape beds. Should any plant material be damaged or die during this period it shall be replaced immediately with plant material of the same size, species and quality as originally specified.
- D. It is the responsibility of the landscape contractor to confirm all material quantities in the event of a discrepancy, the quantities shown on the plan shall take precedence over the material schedule.
- E. No substitutions as to type, size, or spacing of plant materials specified on this plan may be made without the approval of the landscape architect or owner's representative. All substitutions shall be reviewed and approved with the owner's representative and the applicable municipal or state reviewing agency.
- F. Contractor shall be required to obtain all permits relative to landscape installation. Any work in municipal or state right of way or utility easements may require a permit from the governing agency.
- 1.2 Inspection and Approval:**
- A. All plant material may be subject to inspection and approval by the landscape architect or the owner's representative in the field or nursery before digging, or at the site before planting or placing or at any other time. After secure, durable, legible waterproof labels, stating correct botanical and common names as specified, to at least one shrub or perennial in a grouping and to each tree on site. All labels to be completely removed by contractor at time of final acceptance.
- 1.3 Job Conditions:**
- A. Examine conditions under which work is to be performed and notify the Landscape Architect of unsatisfactory conditions or any potential field adjustments. Should the landscape contractor encounter unsatisfactory surface or other subsurface drainage conditions, inadequate soil depth, latent soils, hard pan, utility lines or other conditions that will jeopardize the health and vigor of the plants, adjustment must be made by the contractor to insure suitable conditions for proper growth and development of the plants to be installed.
- B. Determine locations of underground utilities and perform work in manner which will avoid all possible damage. It is a requirement per the Tennessee "Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate a list of these utilities may be obtained from the county register of deeds. Those utilities that participate in the Tennessee one call system can be notified by calling 1-800-351-1111. Hand excavation to avoid damage to existing utilities if required.
- C. Contractor to remove any debris on site and deep grub all landscape planting areas prior to grading and planting as part of contract. All planting and seeding areas shall be free from weeds prior to planting and mulching. No plant material shall be planted prior to completion of finish grade. Herbicide and/or mechanical removal of weeds may be required to insure complete weed removal. Any herbicide applications must be done a minimum of 2 weeks or more prior to time of planting.
- 2.0 Materials**
- 2.1 Topsoil:
- A. All topsoil shall be stripped and stored for reuse on site prior to grading and excavation work.
- B. Topsoil stripped and stored on site, or hauled in for use on site shall meet the following criteria before being spread on site or used in landscape beds or planting mix:
- To be Fertile, friable naturally occurring topsoil, free of stones, subsoil, clay lumps, hardpan, roots, stumps, branches sticks and other debris larger than one and one half inch in any dimension, free of noxious weeds, grasses, seeds, plants, extraneous matter and any substance harmful to plant growth;
 - Ph range of 5.5 to 7.0;
 - Organic matter 5% to 10%;
 - Topsoil shall contain a maximum of 35% clay;
 - Topsoil shall contain a minimum of 20% sand;
- 2.2 Planting Mix: Shall be thoroughly mixed in proportions specified for plant pits and planting beds
- A. 40% Approved material excavated from the pits (if rock or heavy clay is encountered provide 70% topsoil in mix)
- B. 30% Topsoil (as defined in 2.1 hereof)
- C. 30% Organic compost consisting of peat moss, mushroom compost or worm castings. All organic compost must be well aged. No raw wood or other unaged material shall be permitted as part of compost blend.
- D. Add 3 lbs of 8-12-12 fertilizer to each cubic yard of topsoil mix during the mixing process, for all plants.
- E. All planting mix shall be inoculated with a mycorrhizal fungus product. Mycorrhizal inoculation may be applied with a powder or liquid application. Follow manufacturer's directions for proper amount and methods of application.
- 2.5 Plant Materials:**
- A. Shall conform to state and federal requirements for disease and insect control, and shall be in accordance with American Standard for Nursery Stock, ANSI Z-60.1 (latest approved edition) and shall be subject to approval of owner's representative. Dimensions listed for heights, spread and trunk specifications on the plant material schedule are a guide for the minimum required size of each plant.
- B. All plant material shall be free from bark damage, well foliated and have a well established root system, without circling roots or root board joints.
- C. First class representatives of their species or variety and true to name and size. Plants that are not of highest quality will be rejected. All plants shall have a well-formed canopy (head) with minimum collar, height and spread as shown on the planting list. Trunks and canopy shall be shaped by typical of the species. Trees of the same species shall have the following characteristics: matched by branching height, collar, height of tree, spread of branches and branching structure, and overall canopy shape.
- D. Seed: Seed shall be delivered to site in original sealed packages bearing the producer's guaranteed analysis for percentages of moisture, purity, germination, weedseed content and inert material. All seed must be fresh, clean and from current seasons seed crop.
- A. Variety: Premium Tall Fescue Blend (grafted lateral variety)
- B. Purity: 95% minimum
- C. Percent Germination: 90% minimum
- D. Maximum weed seed content: 0.5%
- 2.6 Mulch: 100% Shredded and Aged Hardwood Mulch or Pine Straw (owner's choice as specified on plan) to cover all tree, plant and ground cover pits and landscape beds.
- 2.7 Fertilizer: Fertilizer shall have a ratio of 6% Nitrogen, 12% Phosphorus and 12% Potassium. Fertilizer shall be granular and mixed into planting mix at the rates as specified in 2.2 hereof and at the manufacturer's rate for turf grass areas.
- 3.0 Excavation**
- 3.1 Finish Grade and Landscape Bed Preparation
- A. Finish grading to be completed by General Contractor. Fine grade soil to eliminate irregularities and ponding from finish grades and to form smooth, consistent grade with positive drainage away from all buildings and structures. All landscape beds are to be filled to a minimum depth of 8" and covered with fertile topsoil to a minimum depth of 4".
- 3.2 Topsoil Placement
- A. Finish grading to be completed by General Contractor. Fine grade soil to eliminate irregularities and ponding from finish grades and to form smooth, consistent grade with positive drainage away from all buildings and structures.
- B. If planting and mulching is not commenced immediately, protect spread topsoil from erosion by force of wind, water or other forces, and maintain eroded, rutted or settled grades to proper finished grade.
- C. Spreading of topsoil: All landscape beds and turf grass areas shall have a minimum depth of 4" of topsoil established prior to planting, seeding, sodding or mulching. All topsoil stripped from the site shall be utilized on site to establish the 4" minimum depth required for landscape areas. All excess topsoil beyond the 4" minimum depth shall be evenly spread throughout landscape and turf grass planting areas.
- 3.3 Plants of this, Shrub and perennials
- A. Do not prune plants without direction and approval of Landscape Architect.
- B. Prepare planting mix as specified in 2.2 hereof. Place on bedfill for all trees, shrubs, and ground cover beds as drawn and detailed. C. Plant all material as drawn and detailed.
- D. Tree Pit Drainage: All trees and shrubs shall be placed in well drained planting pits. If standing water occurs in planting holes the contractor shall provide proper drainage to insure the plants are not and / or plant material shall be placed in elevated, bermed areas to provide proper condition of root balls.
- E. All trees are to be equipped with 20 gallon capacity watering bags to be used during the construction period and left in place for the owners use after final acceptance of the project.
- F. If rock is encountered during planting operations, landscape terms or alternate planting locations shall be evaluated by landscape architect prior to planting.
- G. It is the responsibility of the landscape contractor to verify that each excavated tree or shrub pit will provide (4"min) prior to sodding topsoil and installing trees or shrubs. If the soil at a given area does not drop properly, a 1/2" x 1/2" x 4" steel or galvanized pipe shall be installed, or plantings shall be placed on a berm of planting mix to keep plants out of standing water.
- 3.4 Seed: Provide in acceptable sized seed, sowed on no bare areas more than 4" square. Provide seed bed preparation with fertilizer, lime and straw mulch. Maintain seeded areas until final acceptance by Owner or owner's representative. Grass shall have at least one mowing before reaching final acceptance.
- 3.5 Sod:
- A. Sod shall be installed within 24 hours of delivery to site. No sod shall remain on pallets for longer than 24 hours after delivery.
- B. All areas to receive sod shall be rodded to finish grade to eliminate irregularities and ponding and to form smooth, consistent grade with positive drainage. Prepare topsoil with lime and fertilizer as needed.
- C. All areas to receive sod shall be rodded free of all rocks and debris prior to sod placement.
- D. Areas to receive sod shall be slightly moistened immediately prior to laying sod. Sod shall be watered thoroughly after laying.
- E. Lay sod tightly with no visible open joints and no overlapping between sod panels. Stagger joints and joints a minimum of 12". Cut sections of sod should be uniform and should not exceed 2 feet in width and 10 feet in length.
- F. Roll and other effort shall be taken from watering to insure a good bond between sod and soil to level sod areas. Roller shall not exceed 150 lbs.
- 3.6 Establishment of grass: All disturbed areas of the site are to be seeded and / or sodded to insure protection from erosion and to insure a well established stand of turf grass with no bare patches of exposed soil.

John Brothers, et al.
Record Book 419, Page 1521
Zoned: RM

Billy H. Holt, et al.
Record Book 1038, Page 3622
Zoned: RM
(Under Contract to Purchase by Developer)

Brents W. Pearson
Deed Book 565, Page 294
Zoned: RM
(Under Contract to Purchase by Developer)

Steve Meadows
Deed Book 574, Page 403
Zoned: RM

Landscape Requirements

760 LF of Buffer Required
760 LF = 38 Evergreens
31 Accent Trees
152 Shrubs

PLANT MATERIAL LIST - BUFFER PLANTINGS

CANOPY AND EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	NOTES
47	Cupressus x Leyland Cypress	Leyland Cypress	B&B	12' HT	Full symmetrical shape
40	Cercis Canadensis	Red Bud	B&B	12' HT	Full symmetrical shape
195	Prunus Laurocerasus	Skip Laurel	5 Gal.	36" HT	Full symmetrical shape
8	Quercus Palustris	Pin Oak	B&B	12' HT	Strong central leader



- LEGEND**
- IPS ○ IRON PIN SET (1/2" Rebar, H-S ENGR cap)
 - IPF ○ IRON PIN FND.
 - RAILROAD SPIKE
 - FENCE
 - SURVEY POINT
 - ▲ NAIL
 - CONC. MARKER FND.

DEVELOPER: Buchanan Storage
c/o Aaron Duggin
ADDRESS: 9668 Sims Road
Christiana, TN 37037

OWNER: John Brothers, et ux
ADDRESS: 228 Churchill Farms Road
Murfreesboro, TN 37127

Tax Map 156, Part of Parcel 46.00
Record Book 419, Page 1521

THIS PARCEL IS NOT LOCATED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 470165, PANEL NO. 0404H, ZONE: X, DATED 01-05-07.

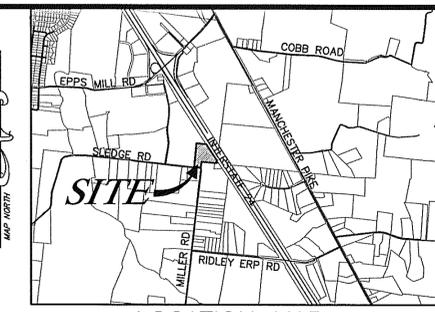
CLYDE ROUNTREE
Landscape Architect
No. 16
Landscape Architect

SHUDDLESTON-STEEL ENGINEERING INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
SURVEYING - 893 - 4054, FAX: 893 - 0080

Landscape Plan - Phase I
BUCHANAN STORAGE
25th Civil District of Rutherford County, Tennessee

Date: June, 2016 Scale: 1"=50' Sheet 4 of 6

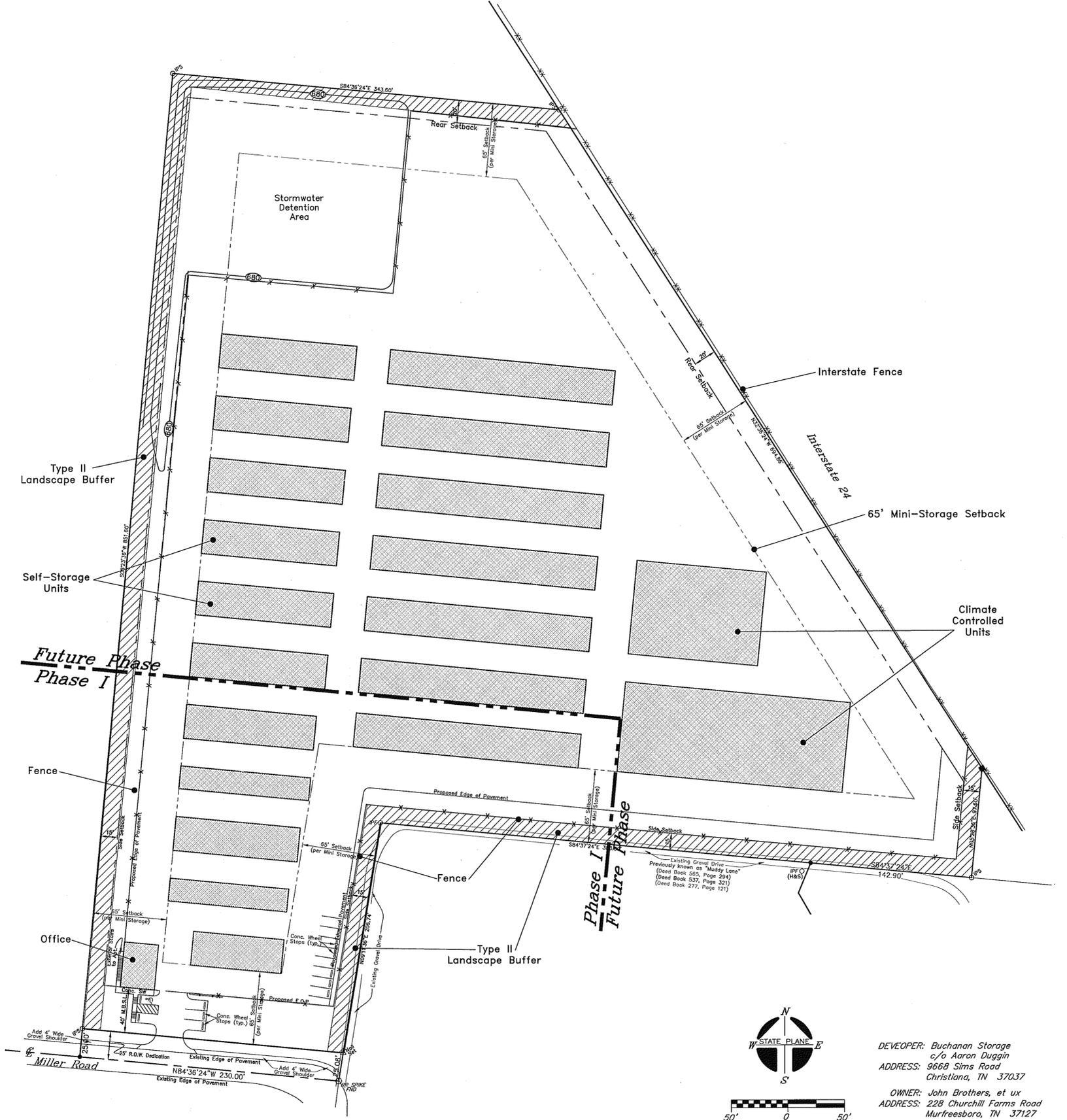
NO.	DATE	DESCRIPTION
0	06-10-16	Original Issue for Submittal
1	07-19-16	Revised per Staff Comments



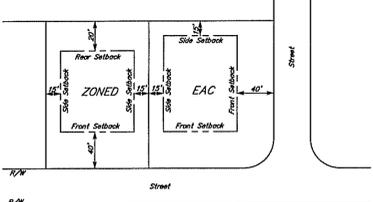
LOCATION MAP
N.T.S.

PLAT NOTES

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3. It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
4. Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
5. Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
6. Properties adjacent to the site of land disturbance shall be protected from sediment deposition. This may be accomplished by preserving a well-vegetated buffer strip around the lower perimeter of the land disturbance; by installing perimeter controls such as sediment barriers, filters, or dikes, or sediment basins; or by a combination of such measures.
7. Permanent or temporary soil stabilization shall be applied to denuded areas within 15 days after final grade is reached on any portion of the site. Soil stabilization shall also be applied within 15 days to denuded areas which may not be at final grade, but will remain dormant (undisturbed) for longer than 60 days.
8. Utilities shown are as proposed and not necessarily installed.
9. This property is within the service area for Consolidated Utility District (CUD). Specific requirements for water service should be directed to Mr. Bill Dumill, who can be contacted at 615-293-7225.
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11. For RCRCPC, a platometric plan meeting the requirements of the RCRCPC Zoning ordinance shall be submitted by the owner prior to issuance of a grading permit.
12. For RCRCPC, this development must adhere to the regulation found in Section 1103 C.3. Mini Warehouses.
13. For RCRCPC, if lighting is to be provided, an approved photometric plan will be required.
14. EPCS Measures are designed for the 2-year, 24-hour storm event.
15. Per RCRCPC, Detention Pond As Built and Long Term Maintenance Agreement must be provided to County Engineer's office prior to application for certificate of occupancy.



ZONING: Employment & Activity Center (EAC)
 FRONT SETBACK: 40'
 SIDE SETBACK: 15'
 REAR SETBACK: 20'



TYPICAL BUILDING SETBACK DETAIL
N.E.S.



- LEGEND**
- IPS ○ IRON PIN SET (1/2" Rebar, H-S ENGR cap)
 - IPF ○ IRON PIN FND.
 - RAILROAD SPIKE
 - FENCE
 - SURVEY POINT
 - ▲ NAIL
 - CONC. MARKER FND.

DEVELOPER: Buchanan Storage
 c/o Aaron Duggin
 ADDRESS: 9668 Sims Road
 Christiana, TN 37037

OWNER: John Brothers, et ux
 ADDRESS: 228 Churchill Farms Road
 Murfreesboro, TN 37127
 Tax Map 156, Part of Parcel 46.00
 Record Book 419, Page 1521

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0	07-19-16	Original Issue per Staff Comments



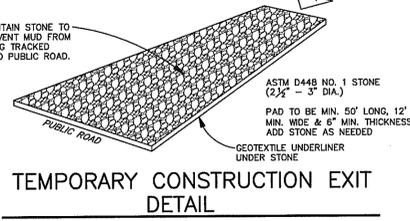
Master Concept Plan
BUCHANAN STORAGE

25th Civil District of Rutherford County, Tennessee

C:\Land Projects\3\Duggin Mini Storage - Miller Road\Miller Mini Storage.dwg, 7/20/2016 10:56:34 AM, AC0178

EROSION CONTROL LEGEND

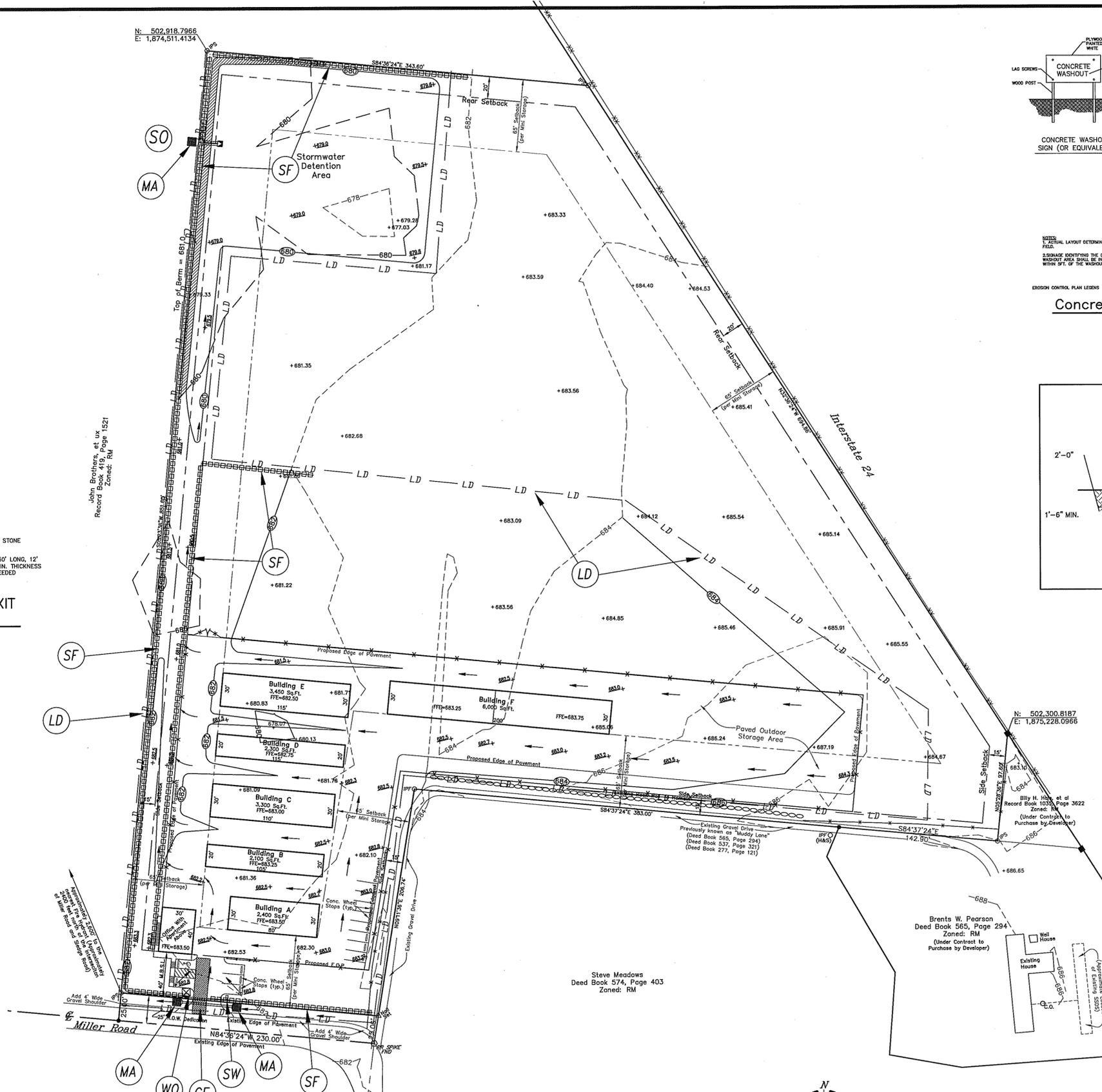
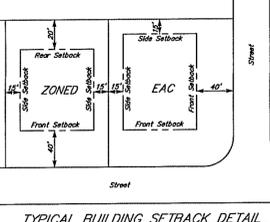
- MA** TURF REINFORCEMENT MATTING
- SO** SITE OUTFALL
- SF** SILT FENCE
- CE** CONSTRUCTION EXIT
- WO** CONCRETE WASH OUT OUT AREA
- LD** LIMITS OF DISTURBANCE
- SW** SWPPP BOARD



LEGEND

- Power Pole
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Reducer
- Proposed Gate Valve & Box
- Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- Existing Spot Elevations
- Proposed Spot Elevations
- Siltation Fence
- Turf Reinforcement Mat
- Stone Check Dam
- Storm Drain Inlet Protection
- Proposed Light; 20' Pole, Shoebox with 4 Bulbs

ZONING: Employment & Activity Center (EAC)
FRONT SETBACK: 40'
SIDE SETBACK: 15'
REAR SETBACK: 20'

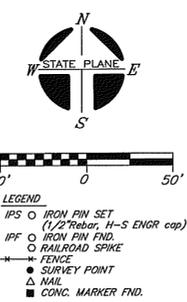


SITE DATA

TOTAL LOT SIZE: 435,600 Sq.Ft. = 10.00± Acres
TOTAL PROPOSED IMPERVIOUS = 75,709 Sq.Ft.

BUILDINGS: OFFICE = 1,200 Sq.Ft.
MINI STORAGE = 19,550 Sq.Ft.
IMPERVIOUS = 20,750 Sq.Ft.

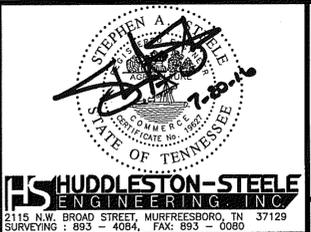
OPEN SPACE RATIO: OPEN SPACE / FLOOR AREA = 414,850 Sq.Ft./21,950 Sq.Ft. = 18.90
FLOOR AREA RATIO: FLOOR AREA / GROSS LAND AREA = 21,950 Sq.Ft./425,600 Sq.Ft. = 5.04%
LIVABILITY SPACE RATIO: LIVABILITY SPACE / FLOOR AREA = 359,891 Sq.Ft./21,950 Sq.Ft. = 16.40



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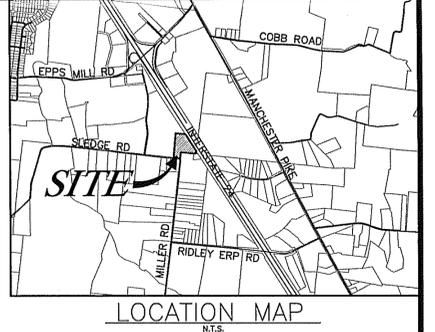
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EROSION PREVENTION & SEDIMENT CONTROL PLAN INTERMEDIATE MEASURES

BUCHANAN STORAGE

25th Civil District of Rutherford County, Tennessee

Date: June, 2016 Scale: 1"=50' Sheet 6 of 6



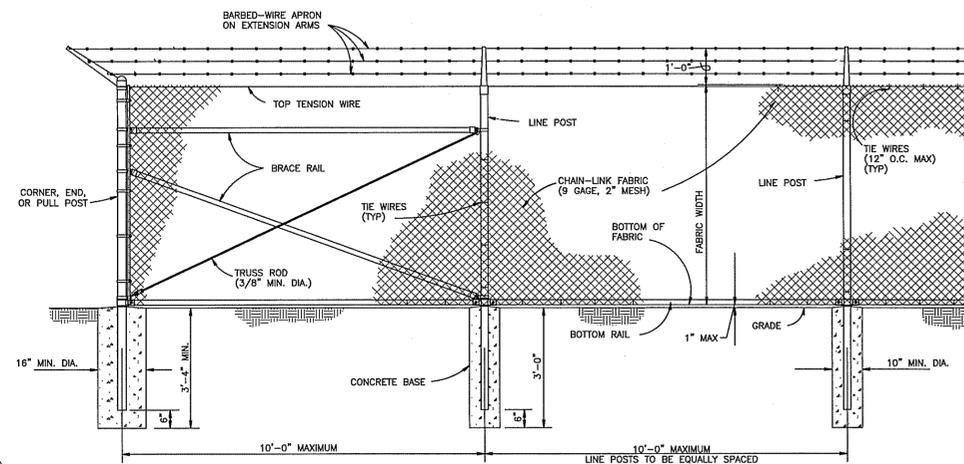
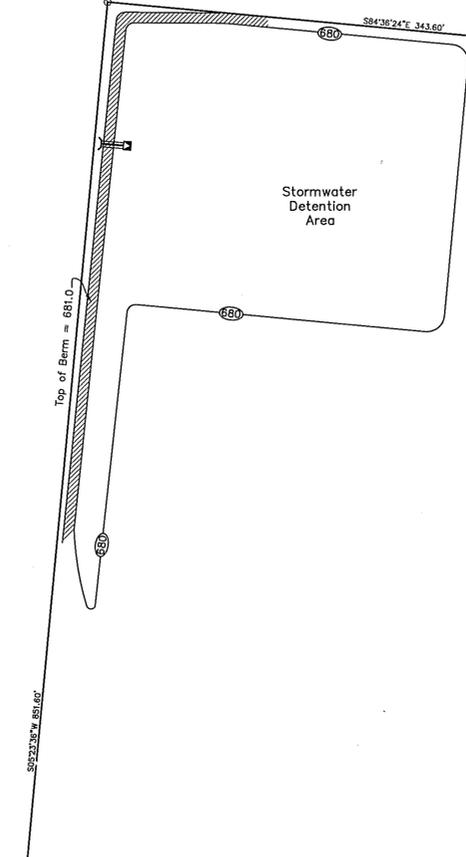
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 - Permanent or temporary soil stabilization shall be applied to denuded areas within 15 days after final grade is reached on any portion of the site. Soil stabilization shall also be applied within 15 days to denuded areas which may not be at final grade, but will remain dormant (undisturbed) for longer than 60 days.
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 - Security fence and Phase I fence to be 8 foot high chain link with 3 strand barbed wire on top inclined bar.
 - Per the Rutherford County Fire Department, a yelp sensor will need to be installed at the gate for emergency vehicles. Contact R.C.F.D. for fire code/protection requirements.
 - Per the R.C.R.P.C., approval of the Site Plan does not constitute approval of any signage. Signage requires a separate permit.

LEGEND

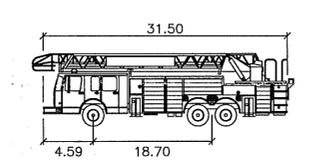
- Power Pole
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- W— Existing Water Line
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- S— Existing Sanitary Sewer Line
- S— Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- CD— Sewer Line Check Dam
- 000— Existing Contours
- 000— Proposed Contours
- 000.0 Existing Spot Elevations
- 000.0 Proposed Spot Elevations

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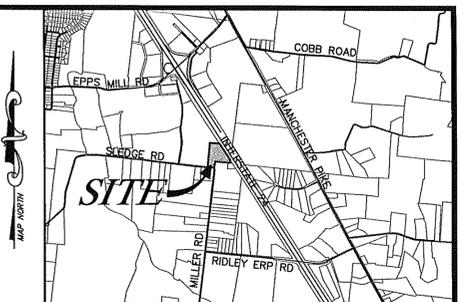
John Brothers, et ux
Record Book 419, Page 1521
Conced. RM



CHAIN-LINK SECURITY FENCE DETAIL
N.T.S.



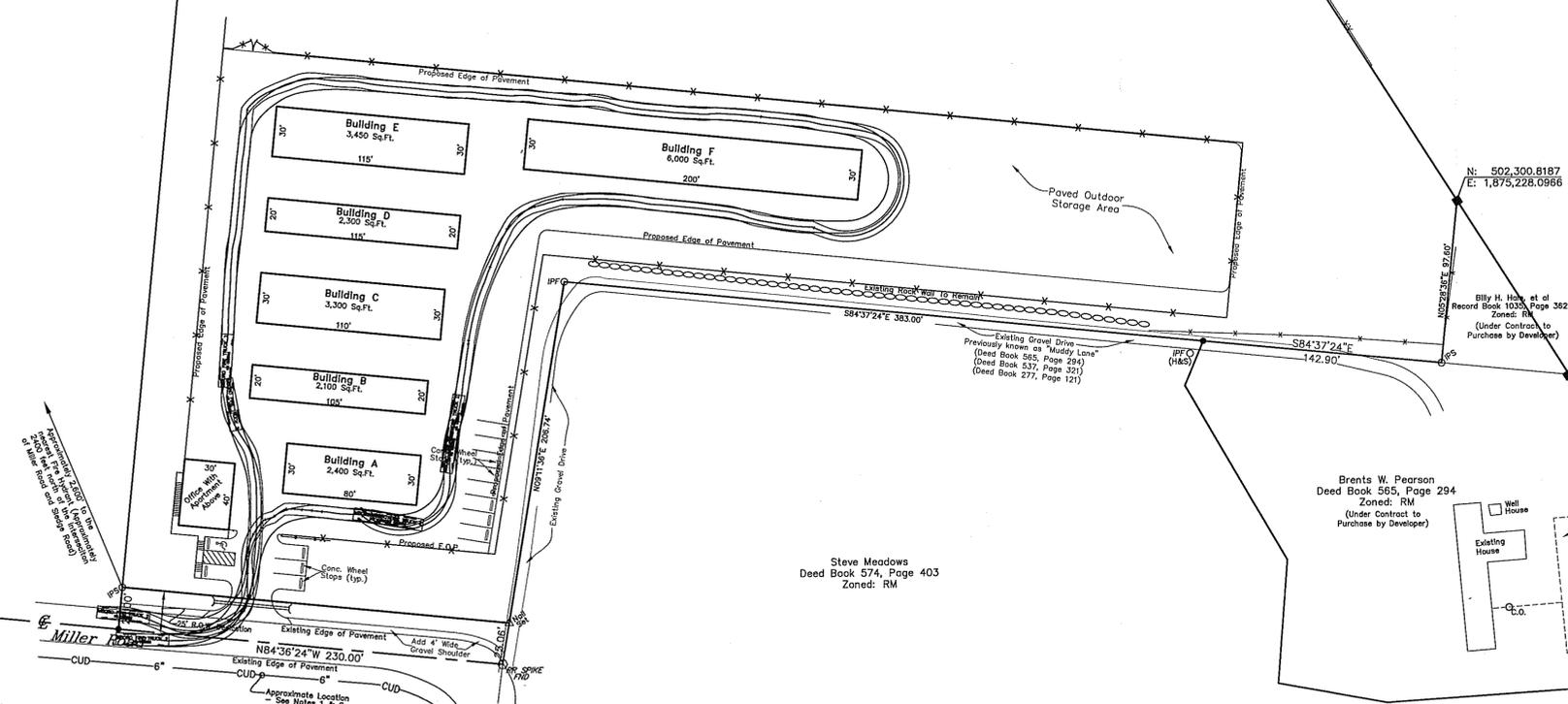
MBORO FIRE TRUCK 2
Width : 4.59 feet
Track : 18.70 feet
Lock to Lock Time : 6.00
Steering Angle : 33.10



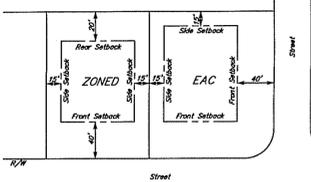
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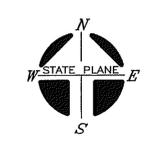
ZONING: Employment & Activity Center (EAC)
FRONT SETBACK: 40'
SIDE SETBACK: 15'
REAR SETBACK: 20'



TYPICAL BUILDING SETBACK DETAIL
N.T.S.

SITE DATA

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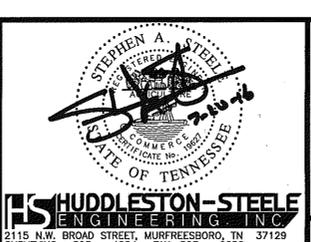
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- IRON PIN SET (1/2" Brass, H-S ENGR cap)
 - IRON PIN FND.
 - RAILROAD SPIKE
 - FENCE
 - SURVEY POINT
 - ▲ NAIL
 - CONC. MARKER FND.

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Sheet No.	Description
1	Site Plan
2	Existing Conditions
3	Grading Plan
4	Landscape Plan
5	Master Concept Plan
6	EPSC-Intermediate Measures

NO.	DATE	DESCRIPTION
0	06-10-16	Original Issue for Submittal
1	07-19-16	Revised per Staff Comments



Truck Turns
BUCHANAN STORAGE
25th Civil District of Rutherford County, Tennessee
Date: June, 2016 Scale: 1"=50' Sheet 1 of 2

Rutherford County Regional Planning Commission Staff Report

Planning Commission Meeting Date: August 8, 2016

Case Number: 16-A014

Staff Recommendation: **NEUTRAL**

Request by: Charles Mullins
Property Address: 3711 Old Woodbury Highway
Commission District: 4 – Robert Peay, Jr.
Urban Growth Boundary: Murfreesboro UGB

Applicant Request

Rezoning from Residential Medium-Density (RM) to Commercial Neighborhood (CN)

Purpose of District

This class of district is designed to provide for a the types of commercial activities that can be located in close proximity to residential areas and that meet recurring shopping and personal service needs. Bulk requirements and buffering standards are intended to insure compatibility between adjoining and nearby uses. This district may also include residential occupancy.

Site Characteristics

Current Zoning: RM
Current Use: Vacant – Existing accessory structure
Adjacent Uses: Residential on all sides. Existing mobile home park to the north
Adjacent Zoning: RM on all sides
Size of Tract: Approximately .5 acres

Comprehensive Plan

The Rutherford County Comprehensive Plan classifies this property as being located within Suburban Belt Character Area. This character area recommends residential densities of up to three units per acre and non-residential densities of .2 Floor/Area Ratio. Old Woodbury Highway is also classified as a Suburban Corridor which recommends residential densities of up to 5 units per acre and non-residential densities of .2 Floor/Area Ratio.

Proposal supported by Comprehensive Plan

Non-residential uses are contemplated within the Suburban Belt Character Area and along Suburban Corridors. There are also other non-residential uses in fairly close proximity to the subject property.

Infrastructure

Roads: Old Woodbury Highway is a 2-lane, ditch-section road that has 60 feet of right-of-way. The County’s Long Range Transportation Plan shows a future widening of this segment of Old Woodbury Highway to a three-lane cross-section. There appears to be adequate existing right-of-way for this improvement. There is a TDOT traffic count approximately 2/3 of a mile to the west of the subject property that identifies a 2015 count of 3,543 vehicles per day.

Utilities: According to information from Consolidated Utility District (CUD), there is an existing 8-inch water line fronting the subject property along Old Woodbury Highway.

Fire Protection: The closest fire hydrant is located at the intersection of Old Woodbury Highway and Anniston Drive (Green Top) approximately 125 feet to the east. Any new development/redevelopment on the property will be required to adhere to the adopted fire codes for Rutherford County.

Stormwater: No portion of the property is located within the 100-year flood zone, as delineated by the Federal Emergency Management Agency (FEMA). The applicant will need to work closely with Engineering Staff to ensure that a stormwater management system is designed to provide water quality and quantity control for any new improvements.

Schools: Not applicable, as this request is for non-residential purposes.

Background/Proposal Details

Background/Proposed Use: The applicant is proposing to rezone the property in order to construct/operate a lawnmower/small engine repair shop. This activity falls under the Consumer Repair Services activity classification, which is allowed by right within the Commercial Neighborhood (CN) zone. The applicant originally requested Commercial Services (CS) zoning. Upon review, the property width (Approximately 86 feet) is less than the required width for properties within the CS zone (100 feet). Considering that the proposed use would be allowed in both the CS and CN zone, Staff spoke to the applicant about making a change to his request. The minimum lot width in the CN zone is 75 feet, as opposed to 100 feet in the CS zone, which this property meets.

Staff has spoken with the applicant regarding his plans for the property. It is unclear at this point whether the existing garage will be utilized for the proposed business or a new building will be constructed. If the existing garage is to be utilized, Staff has identified several items of concern. First, the existing building appears to be within the required side setbacks for the CN zone. Buildings constructed as accessory structures in residential zones only have to meet a minimum setback of five feet. They also have to stay outside of any drainage and/or utility easements. If the building were utilized as a principal structure in the CN zone, it would have to adhere to a 15-foot side setback. It is very likely that a setback variance from the Board of Zoning Appeals would have to be applied for before the building could be used for commercial purposes. Second, the existing building would have to be brought up to current building and fire codes. Since the building would no longer be an accessory structure for personal use, the occupancy and codes requirements would change. Third, all requirements, such as parking, stormwater, landscaping/screening, groundwater/septic tanks, etc., would have to be constructed approved prior to beginning operation. This would require an engineered site plan to be reviewed by Staff and possibly the Planning Commission. Staff has conveyed this information to the applicant and is concerned that

there simply may not be enough room on the property to make all of the necessary improvements.

Access & Parking: The applicant has not submitted any concept plan to this point. Access would be from Old Woodbury Highway. Parking requirements for the proposed businesses would be one space for every 250 square feet of floor area. If the building is used primarily as a contractor's office, the requirement would be one space for every 1,000 square feet of sales/office floor area, plus one space for each employee. Parking spaces would have to be built to current County standards, including paving.

Landscaping: A Type 2 Buffer would be required on all sides adjacent to residential zones. The buffer requires an average width of 30 feet, which can be reduced to 15 feet if a solid visual screen is used. Plantings are prescribed in the Zoning Ordinance.

Performance Standards: Section 1106 of the Zoning Ordinance creates performance standards for noise, dust, odor and hazardous materials that commercial or industrial activities must be able to meet.

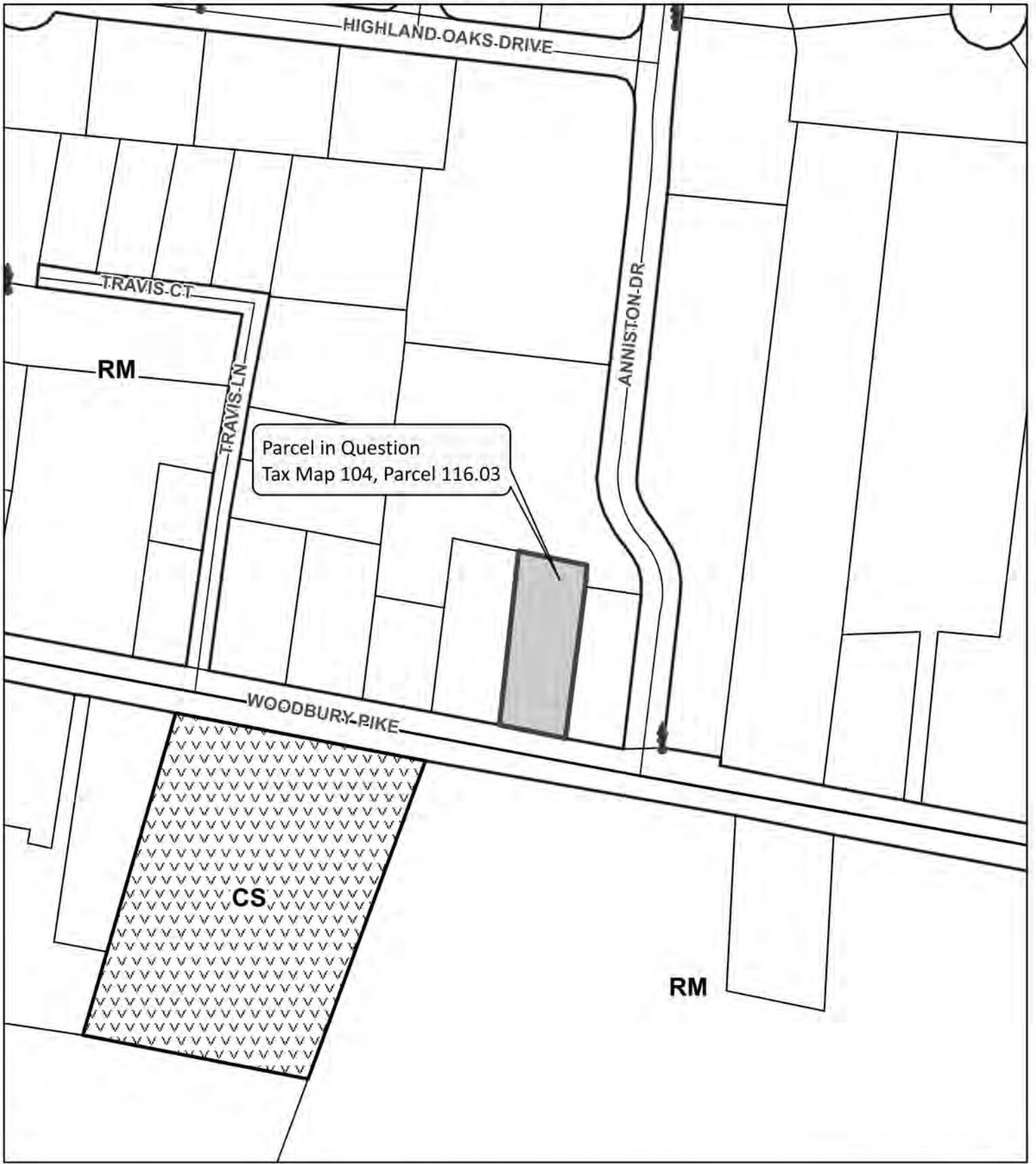
Staff Recommendation

There are a number of issues that will need to be addressed, especially if the applicant desires to use the existing building on the property. Staff is concerned that the lot isn't large enough to make the required improvements. That being said, non-residential uses are contemplated along suburban corridors and there are other non-residential uses in proximity to the subject property. Staff is neutral on this application.

Attachments

Zoning Map
Aerial Map
Water Line Map from CUD

16-A014



  RM - Medium Density Residential  In Question

 CS - Commercial Service  Fire Hydrants

0 50 100 200 300 400 Feet

16-A014



0 50 100 200 300 400 Feet

 N

 In Question

 Fire Hydrants



NOTES:

- 1) The subject property is located within the service boundary of Consolidated Utility District of Rutherford County (CUDRC) and is currently being served by CUDRC.
- 2) Any further development of the subject property beyond what currently exist's would require the OWNER/DEVELOPER to submit a Water Availability Request for CUDRC to determine feasibility.
- 3)The OWNER/DEVELOPER shall complete a Developer's Packet through the Engineering Department at CUDRC.



REZONING REQUEST
 TAX MAP: 104, PARCEL: 116.03
 July 28, 2016

