

**LEGEND**

- ⊗ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- W— Existing Water Line
- W— Proposed Water Line
- S— Existing Sanitary Sewer Line
- S— Proposed Sanitary Sewer Line
- ⊕ Existing Manhole
- ⊕ Proposed Manhole
- CD— Sewer Line Check Dam
- 000— Existing Contours
- ⊕ Proposed Contours
- ⊕ Existing Spot Elevations
- ⊕ Proposed Spot Elevations
- SF— Siltation Fence
- Turf Reinforcement Mat
- Stone Check Dam
- Storm Drain Inlet Protection
- ⊕ Proposed Light; 20' Pole, Shoebox with 4 Bulbs

**SITE PLAN**

**CERTIFICATE OF WATER (SITE PLAN)**  
I hereby certify that the site plan entitled Lascassas Boat & Mini Storage has been approved Consolidated Utility District of Rutherford County for water service, provided, however, that the lines, valves, and fittings must be installed in accordance with C.U.D.R.C. specifications as determined by its engineers. No water service will be provided until that certification has been made in writing.

Date \_\_\_\_\_ Consolidated Utility District Official \_\_\_\_\_

**CERTIFICATE OF APPROVAL OF ELECTRICAL POWER**

Middle Tennessee Electric Membership Corporation (MTEC) will provide electric service to the subject property according to the normal operating practices of MTEC as defined in the Rules and Regulations, By-laws, Policy Bulletins of MTEC. No electric service will be provided until MTEC's requirements have been met and approved in writing by an authorized representative of MTEC.

Date \_\_\_\_\_ 2012 \_\_\_\_\_  
MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

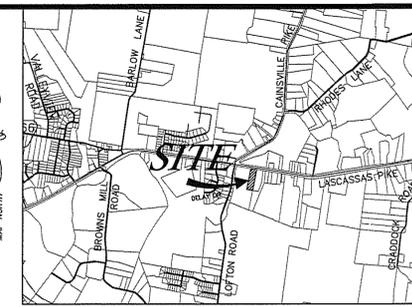
**Certification of general Approval for Installation of Subsurface Sewage Disposal System with Restrictions**

General approval is hereby granted for lots proposed hereon as being suitable for subsurface sewage disposal with the listed and/or attached restrictions. Before the initiation of construction the location of the house or other structure and plans for the subsurface sewage disposal system shall be approved by the TDEC Division of Ground Water Protection.

Date \_\_\_\_\_ T.D.E.C. / D.W.R. \_\_\_\_\_

**PLAT NOTES**

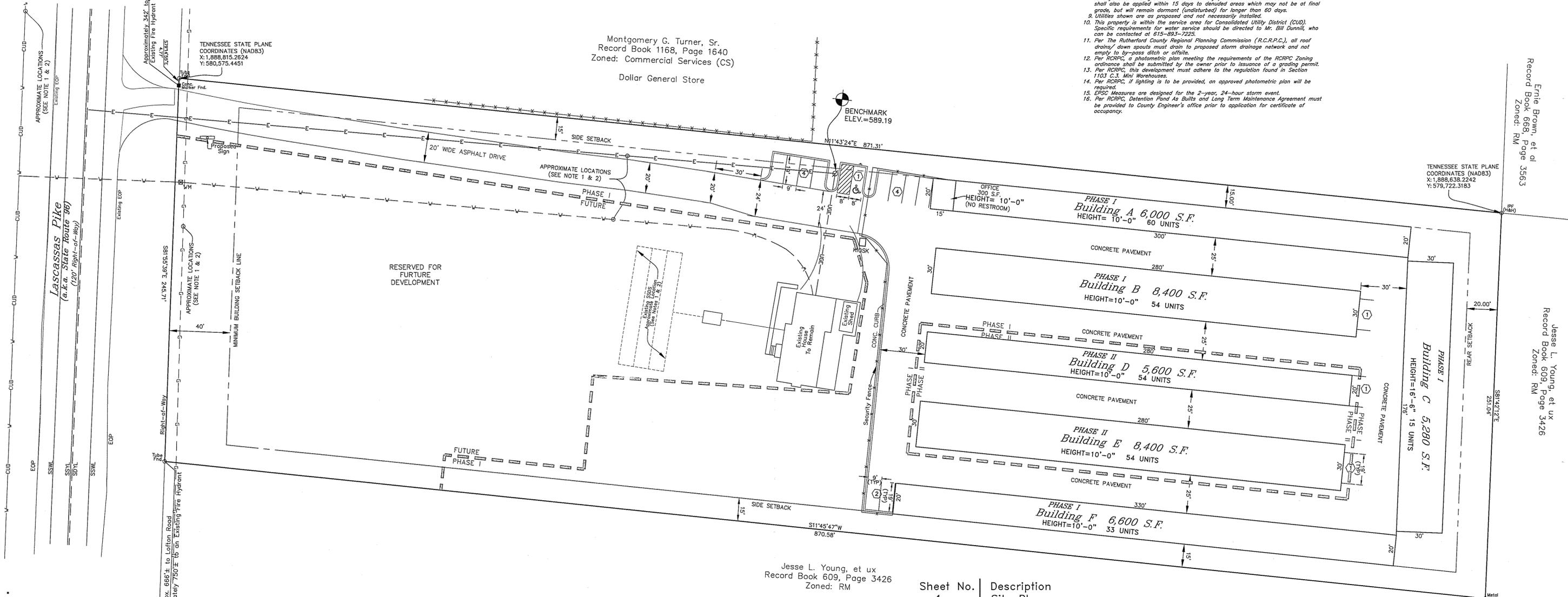
1. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
2. Underground utilities shown were located using available above-ground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
3. It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
4. Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
5. Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
6. No work within or connection to Lascassas Pike (a.k.a. State Route 96) right-of-way without the prior written approval of the Tennessee Department of Transportation (T.D.O.T.).
7. Properties adjacent to the site of land disturbance shall be protected from sediment deposition. This may be accomplished by preserving a well-vegetated buffer strip around the lower perimeter of the land disturbance; by installing perimeter controls such as sediment barriers, filters, or dikes, or sediment basins; or by a combination of such measures.
8. Permanent or temporary soil stabilization shall be applied to denuded areas within 15 days after final grade is reached on any portion of the site. Soil stabilization shall also be applied within 15 days to denuded areas which may not be at final grade, but will remain dormant (undisturbed) for longer than 60 days.
9. Utilities shown are as proposed and not necessarily installed.
10. This property is within the service area for Consolidated Utility District (CUD). Specific requirements for water service should be directed to Mr. Bill Dummil, who can be contacted at 615-891-2225.
11. Per The Rutherford County Regional Planning Commission (R.C.R.P.C.), all roof drains/down spouts must drain to proposed storm drainage network and not empty to by-pass ditch or offsite.
12. Per RCRPC, a photometric plan meeting the requirements of the RCRPC Zoning ordinance shall be submitted by the owner prior to issuance of a grading permit.
13. Per RCRPC, this development must adhere to the regulation found in Section 1103 C.3, Mini Warehouses.
14. Per RCRPC, if lighting is to be provided, an approved photometric plan will be required.
15. EPSC Measures are designed for the 2-year, 24-hour storm event.
16. Per RCRPC, Detention Pond As Built and Long Term Maintenance Agreement must be provided to County Engineer's office prior to application for certificate of occupancy.



LOCATION MAP  
N.T.S.

Montgomery G. Turner, Sr.  
Record Book 1168, Page 1640  
Zoned: Commercial Services (CS)  
Dollar General Store

BENCHMARK  
ELEV.=589.19



TENNESSEE STATE PLANE COORDINATES (NAD83)  
X: 1,888,815.2624  
Y: 580,575.4451

TENNESSEE STATE PLANE COORDINATES (NAD83)  
X: 1,888,638.2242  
Y: 579,722.3183

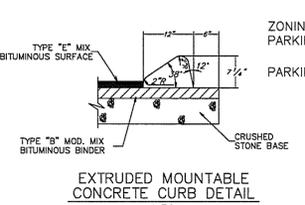
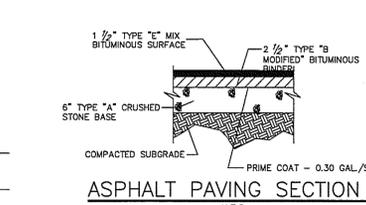
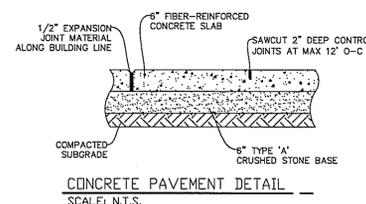
Ernie Brown, et al  
Record Book 668, Page 3563  
Zoned: RM

Jesse L. Young, et ux  
Record Book 609, Page 3426  
Zoned: RM

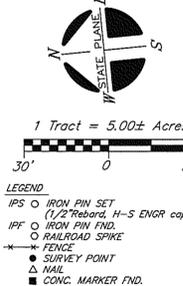
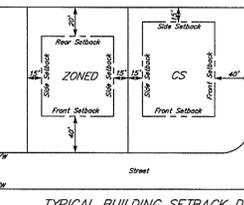
**SITE DATA**

TOTAL LOT SIZE: 217,800 Sq.Ft. = 5.00± Acres  
PHASE I AREA: 119,540 S.F. = 2.74± Acres  
PHASE II AREA: 24,780 S.F. = 0.57± Acres  
TOTAL PROPOSED IMPERVIOUS (Phase I & II) = 93,979 S.F.  
PHASE I BUILDINGS: OFFICE: 300 S.F.  
MINI STORAGE = 21,000 S.F. (BUILDING A, B, & F)  
BOAT/ RC CANOPY = 5,280 S.F. (BUILDING C)  
IMPERVIOUS= 69,199 S.F.  
PHASE II BUILDINGS: MINI STORAGE = 14,000 S.F. (BUILDING D & E)  
IMPERVIOUS= 24,780 S.F.  
TOTALS: OFFICE = 300 S.F.  
MINI STORAGE = 35,000 S.F.  
BOAT/ RV CANOPY = 5,280 S.F.  
LOT COVERAGE= 43.1%

Sheet No.	Description
1	Site Plan
2	Existing Conditions
3	Grading Plan
4	Landscape Plan
5	Landscape Details
6	EPSC - Initial Measures
7	EPSC Intermediate Measures



ZONING: Commercial Services (CS)  
FRONT SETBACK: 40'  
SIDE SETBACK: 15'  
REAR SETBACK: 20'



OWNER: Stan Vaught, et ux Terri Vaught  
ADDRESS: 6675 West Trimble Road  
Milton, TN 37118  
Tax Map 61, Parcel 29.03  
Record Book 1260, Page 3217

THIS PARCEL IS PARTIALLY LOCATED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 47016S, PANEL NO. 0167H, ZONE(S): AE & X, DATED 01-05-07.



Site Plan  
**LASCASSAS BOAT & MINI STORAGE**  
6854 Lascassas Pike, Lascassas, TN  
22th Civil District of Rutherford County, Tennessee  
Date: February, 2016 Scale: 1"=30' Sheet 1 of 7

NO.	DATE	DESCRIPTION
0	03-11-16	Original Issue - For Submittal
1	03-22-16	Revised Per RCRPC Staff Comments
2	04-08-16	Revised For Reubmittal to RCRPC
3	04-19-16	Revised Per Staff Comments

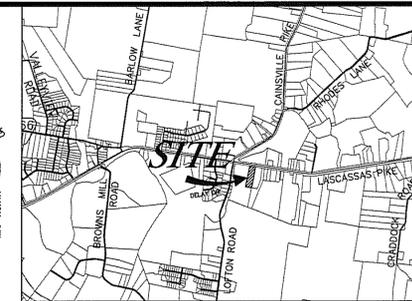
\\V00009\land\Projects\316551 Lascassas Pike\dwg\Lascassas Boat & Mini Storage.dwg, SITE PLAN, 4/20/2016 1:48:41 PM, AC0001

**LEGEND**

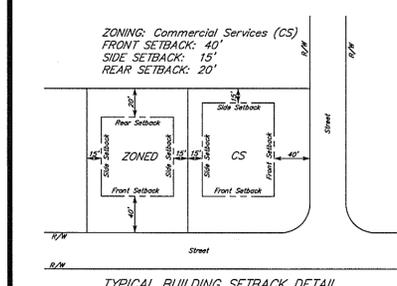
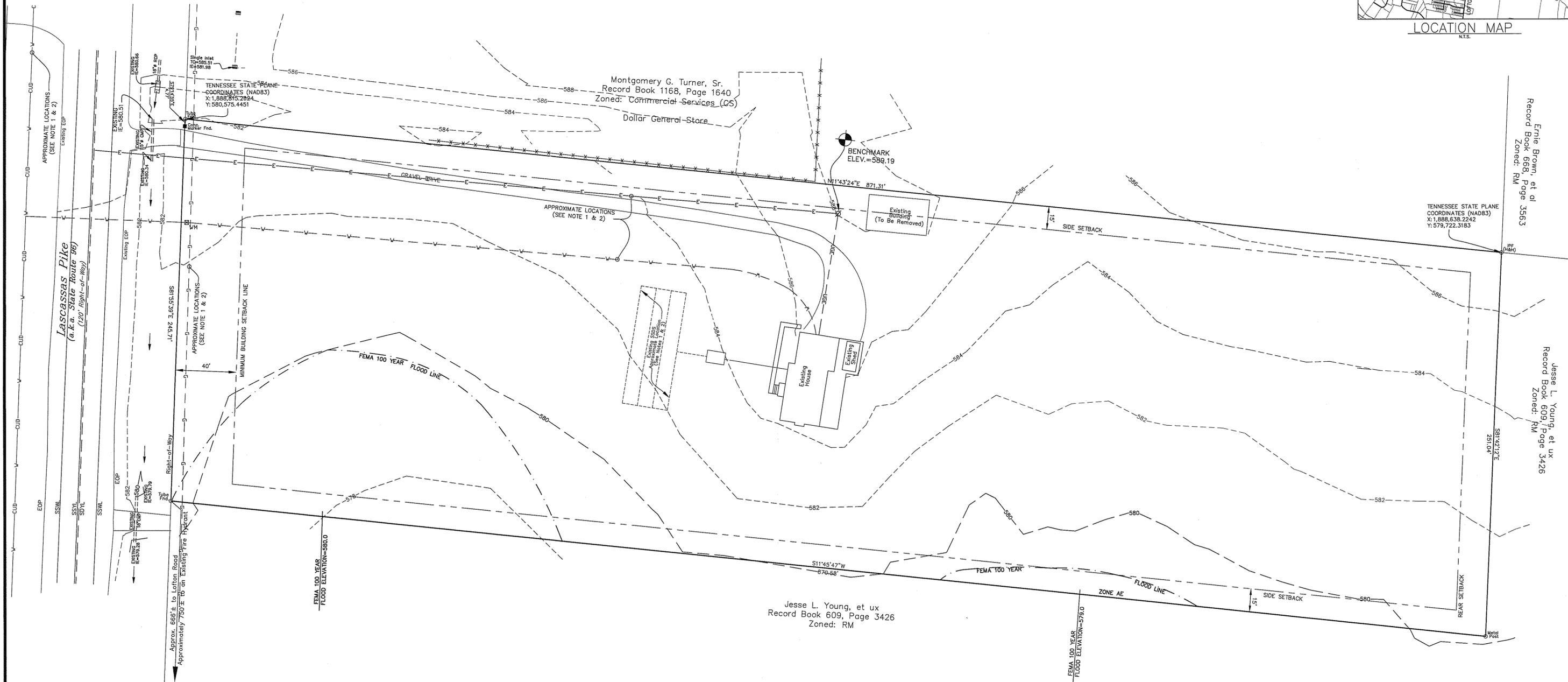
- ⊙ Power Pole
- ⊙ Existing Fire Hydrant
- Existing Gas Line
- UGT Existing Underground Telephoning Line
- Existing Water Line
- Existing Electric Line
- Existing Sanitary Sewer Line
- Existing Manhole
- Existing Contours

**PLAT NOTES**

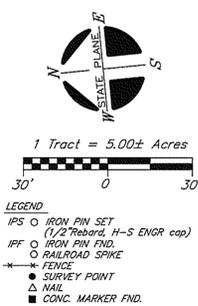
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4. Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
5. Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways, including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
6. The soil sites shown hereon are taken from information provided by the developer, Huddleston-Steele Engineering, Inc. assumes no responsibility for the accuracy or completeness of the soils information provided hereon.



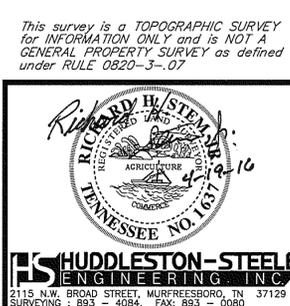
LOCATION MAP  
N.T.S.



ZONING: Commercial Services (CS)  
FRONT SETBACK: 40'  
SIDE SETBACK: 15'  
REAR SETBACK: 20'



OWNER: Stan Vaught, et ux Terri Vaught  
ADDRESS: 6675 West Trimble Road  
Milton, TN 37118  
Tax Map 61, Parcel 29.03  
Record Book 1260, Page 3217



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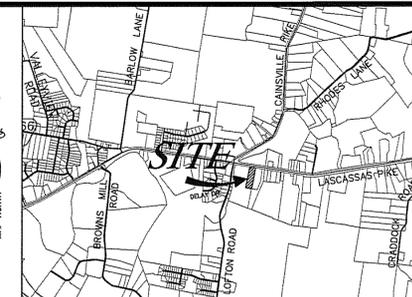
This survey is a TOPOGRAPHIC SURVEY for INFORMATION ONLY and is NOT A GENERAL PROPERTY SURVEY as defined under RULE 0820-3-07

*Existing Conditions*  
**LASCASSAS BOAT & MINI STORAGE**  
6854 Lascassas Pike, Lascassas, TN  
22th Civil District of Rutherford County, Tennessee  
Date: February, 2016    Scale: 1"=30'    Sheet 2 of 7

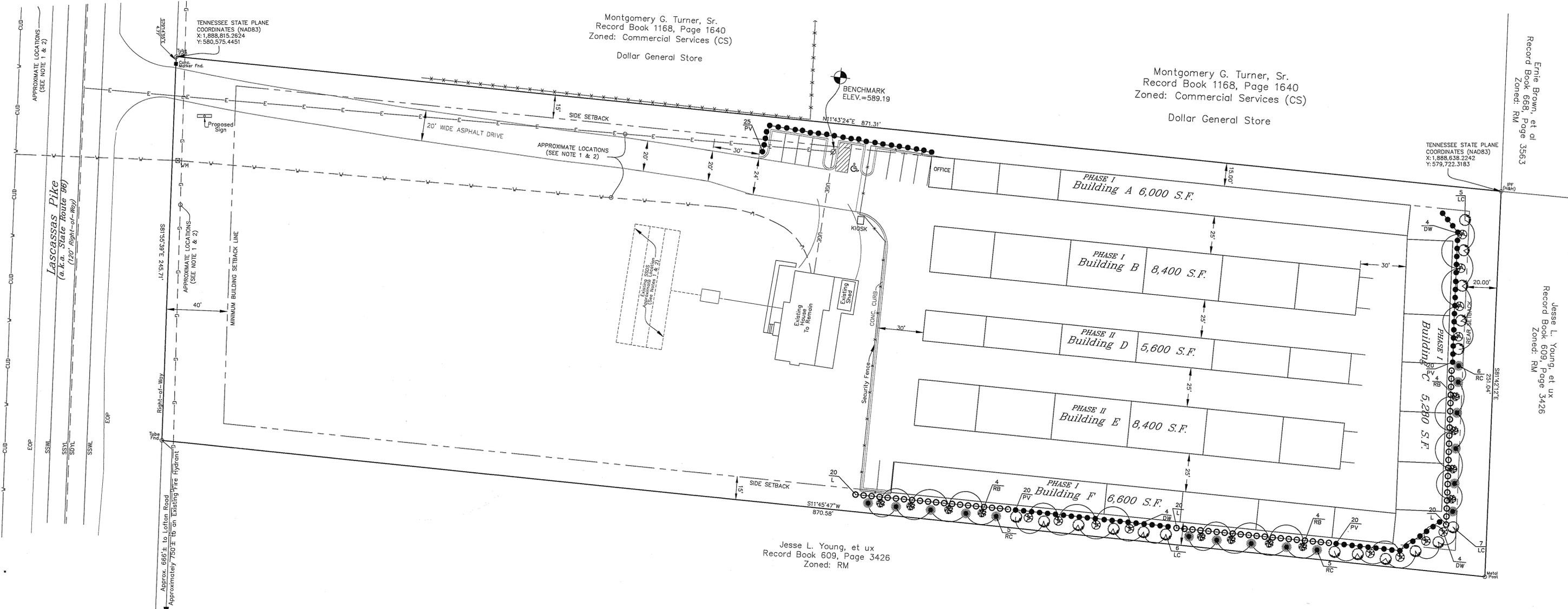


**PLANTING NOTES**

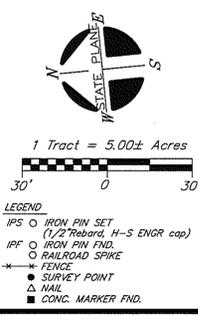
- It is the responsibility of the landscape contractor to confirm all material quantities. In the event of a discrepancy, the quantities shown on the plan shall take precedence over the material schedule.
- No substitutions as to type, size, or spacing of plant materials specified on this plan may be made without the approval of the landscape architect or owner's representative.
- Dimensions listed for heights, spread and trunk specifications on the plant material schedule are general guide for the minimum required size of each plant.
- All plant materials to be nursery grown and to comply with the American standard for nursery stock for size and quality.
- The landscape architect or owner's representative reserves the right to refuse any plant material or any defective workmanship.
- New tree plantings to be staked per planting details.
- All plants shall have a well-formed head with minimum caliper, height and spread of the side branches as shown on the plant list. Trunks shall be undamaged and shape shall be typical of the species.
- Measurement of conifer height shall include not more than fifty percent (50%) of this years vertical growth (top candle).
- All planting beds shall be mulched with a four inch layer of shredded bark, pine needles or hardwood mulch to cover the complete planting area. Shredded pine bark shall be the primary mulch selection unless the owner specifies pine straw mulch.
- All planting and seeding areas shall be free from weeds prior to planting and mulching. Herbicide and/or mechanical removal of weeds shall be required to insure complete weed removal. Any herbicide applications must be done a minimum of 2 weeks or more prior to time of planting.
- All disturbed areas of the site are to be seeded and/or sodded in accordance with the specifications.
- No excavation or planting pit shall be left open overnight.
- The landscape contractor will be responsible for staking and layout of plantings on this project. The landscape architect or owner's representative shall be advised when stakes are ready for inspection on various planting areas. All layout work shall be inspected and approved by the landscape architect or owner's representative prior to opening any plant pits.
- It is the responsibility of the landscape contractor to verify that each excavated tree or shrub pit will percolate (drain) prior to adding topsoil and installing trees or shrubs. The contractor shall fill the bottom of selected holes with six inches of water. This water should percolate out within a 24-hour period. The owner or landscape architect shall verify accuracy and effect of percolation testing. If the soil at a given area does not drain properly, a p.v.c. drain or gravel sump shall be installed or the planting relocated.
- Should the landscape contractor encounter unsatisfactory surface or other subsurface drainage conditions, soil depth, latent soils, hardpan, steam or other utility lines or other conditions that will jeopardize the health and vigor of the plants, he must advise the landscape architect in writing of the conditions prior to installing the plants, otherwise the landscape contractor warrants that the planting areas are suitable proper growth and development of the plants to be installed.
- No material shall be planted before finish grading has been completed.
- All beds are to be tilled to a depth of 8" with the addition of: (1) 6 cu. Ft. Bale of sphagnum peat moss or organic compost per 40 sq. Ft. Of bed area. (2) 10-10-10 fertilizer per 1000 sq. Ft. if azaleas, rhododendrons or pliers are used, add 1 3/4 cu. Ft. Finely ground "pine" bark mulch per 25 sq. Ft. Of bed area. All additions are to be spread and tilled into the soil uniformly.
- Contractor shall notify the landscape architect or owner's representative when the plant materials are available at the job site for review prior to installation.
- The contractor is responsible for fully maintaining all planting but not limited to: watering, spraying, mulching, fertilizing, etc.) of the planting areas and lawn until the work is accepted in total by the owner.
- The contractor shall completely guarantee all plant material for a minimum period of one year including at least one growing season (March to November) from the date of total acceptance. The contractor shall promptly make all replacements before or at the end of the guarantee period.
- All plant material which dies, turns brown, or defoliates (prior to total acceptance of the work) shall be promptly removed from the site and replaced with material of the same species, quantity, and size and meeting all plant list specifications.
- If automated irrigation is not provided, a hose bib shall be provided within 300 feet of all landscape beds and plant materials.



LOCATION MAP  
N.T.S.

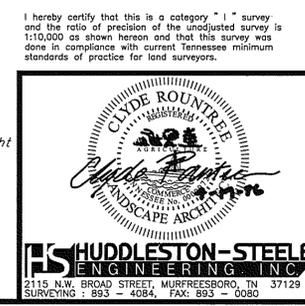


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OWNER: Stan Vaught, et ux Terri Vaught  
 ADDRESS: 6675 West Trimble Road  
 Milton, TN 37118  
 Tax Map 61, Parcel 29.03  
 Record Book 1260, Page 3217

THIS PARCEL IS PARTIALLY LOCATED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARDOUS" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 470163, PANEL NO. 01674, ZONE(S): AE & X, DATED 01-05-07.

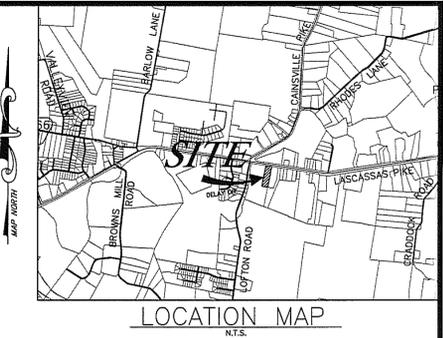
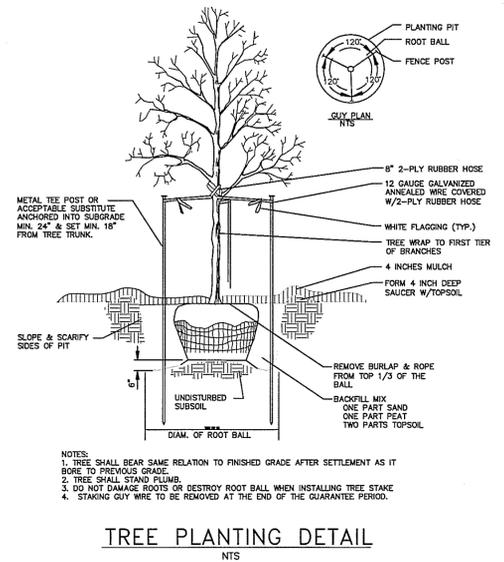
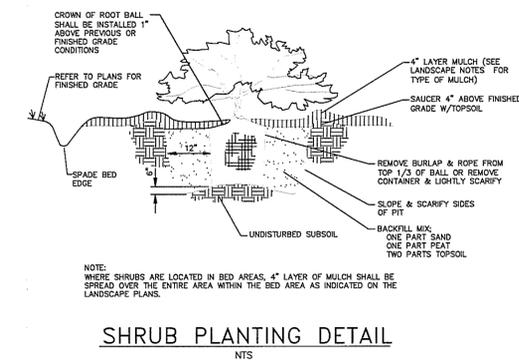


*Landscape Plan*  
**LASCASSAS BOAT & MINI STORAGE**  
 6854 Lascassas Pike, Lascassas, TN  
 22th Civil District of Rutherford County, Tennessee

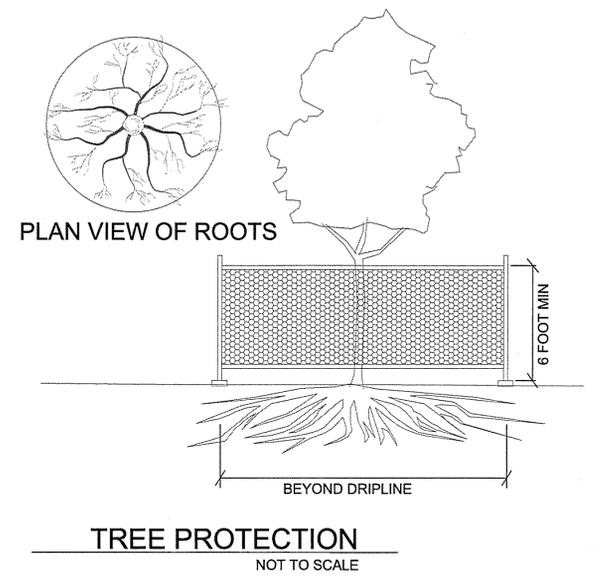
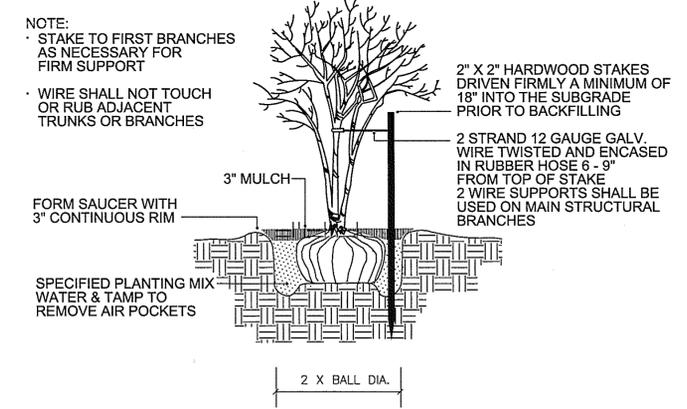
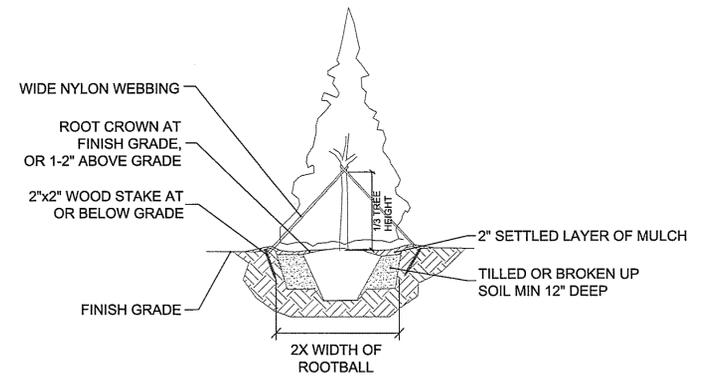
Date: February, 2016      Scale: 1"=30'      Sheet 4 of 7

**PLANTING NOTES**

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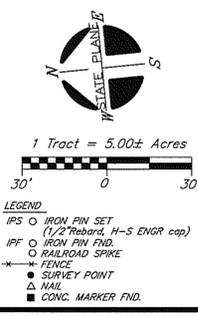


Plant Schedule						
Qty.	Sym	Botanical Name	Common Name	Size	Min. Ht.	Notes
<b>Buffer Trees</b>						
17	LC	Cupressus x leylandii	Leyland Cypress		6' Ht.	Full, symmetrical shape
12	RB	Cercis Canadensis	Red Bud	2" cal	8' Ht.	4' Clear Trunk, Full Canopy
12	DW	Cornus Kousa	Kousa Dogwood	2" cal	8' Ht.	4' Clear Trunk, Full Canopy
16	RC	Juniperus virginiana	Eastern Red Cedar		6' Ht.	Full to base
<b>Shrubs and Perennials</b>						
60	L	Prunus laurocerasus 'Otto Luken'	Otto Luken' Laurel	24" Ht.	4' o.c.	Full symmetrical shape
80	PV	Viburnum x pragense	Prague Viburnum	24" Ht.	4' o.c.	Full symmetrical shape



NOTE:  
- STAKE TO FIRST BRANCHES AS NECESSARY FOR FIRM SUPPORT  
- WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES

2" X 2" HARDWOOD STAKES DRIVEN FIRMLY A MINIMUM OF 18" INTO THE SUBGRADE PRIOR TO BACKFILLING  
2 STRAND 12 GAUGE GALV. WIRE TWISTED AND ENCASED IN RUBBER HOSE 6-9" FROM TOP OF STAKE  
2 WIRE SUPPORTS SHALL BE USED ON MAIN STRUCTURAL BRANCHES



OWNER: Stan Vaught, et ux Terri Vaught  
 ADDRESS: 6675 West Trimble Road  
 Milton, TN 37118  
 Tax Map 61, Parcel 29.03  
 Record Book 1260, Page 3217

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I hereby certify that this is a category "1" survey and the ratio of precision of the unadjusted survey is 1:10,000 as shown herein and that this survey was done in compliance with current Tennessee minimum standards of practice for land surveyors.

**CLYDE ROUNTREE**  
 LANDSCAPE ARCHITECT

**SHUDDLESTON-STEELE**  
 ENGINEERING INC.  
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
 SURVEYING - 893 - 4084, FAX: 893 - 0080

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 6854 Lascassas Pike, Lascassas, TN  
 22th Civil District of Rutherford County, Tennessee

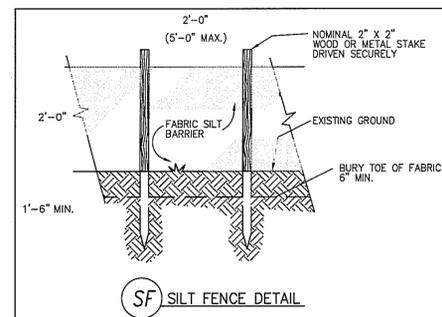
Date: February, 2016    Scale: 1"=30'    Sheet 5 of 7

**LEGEND**

- ⊕ Power Pole
- ⊕ Existing Fire Hydrant
- G- Existing Gas Line
- UGT- Existing Underground Telephoning Line
- W- Existing Water Line
- E- Existing Electric Line
- S- Existing Sanitary Sewer Line
- Existing Manhole
- 000- Existing Contours

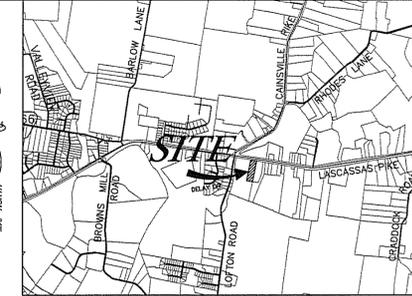
**EROSION CONTROL LEGEND**

- SO SITE OUTFALL
- SF SILT FENCE
- CE CONSTRUCTION EXIT
- WO CONCRETE WASH OUT AREA
- SW SWPPP BOARD
- LD LIMITS OF DISTURBANCE - AREA= 143,731 S.F.=3.3 Acres

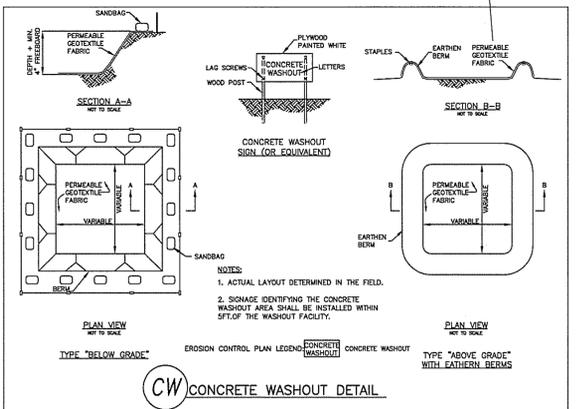
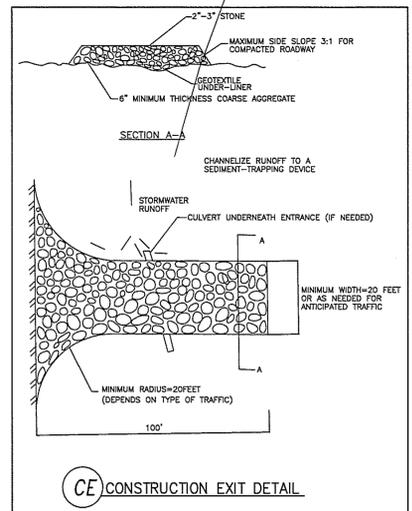
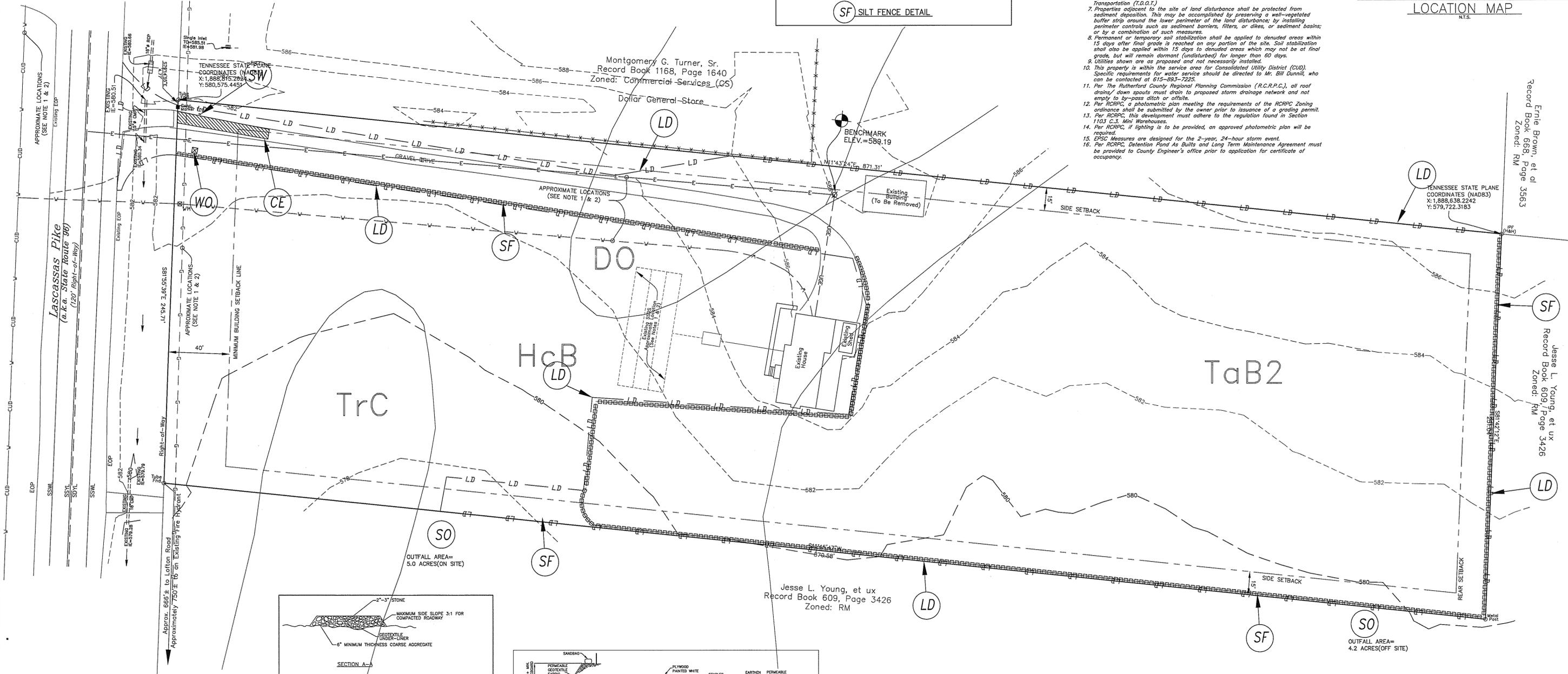


**PLAT NOTES**

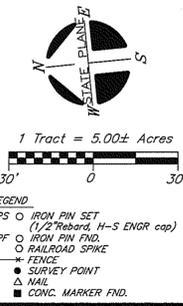
1. In Tennessee, it is a requirement per The Underground Utility Damage Prevention Act that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
2. Underground utilities shown were located using available above-ground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
3. It is the responsibility of each builder to design and construct a suitable grading and drainage system which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
4. Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
5. Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
6. No work within or connection to Lascassas Pike (a.k.a. State Route 96) right-of-way without the prior written approval of the Tennessee Department of Transportation (T.D.O.T.)
7. Properties adjacent to the site of land disturbance shall be protected from sediment deposition. This may be accomplished by preserving a well-vegetated buffer strip around the lower perimeter of the land disturbance; by installing perimeter controls such as sediment barriers, filters, or ditches; or sediment basins; or by a combination of such measures.
8. Permanent or temporary soil stabilization shall be applied to denuded areas within 15 days after final grade is reached on any portion of the site. Soil stabilization shall also be applied within 15 days to denuded areas which may not be at final grade, but will remain dormant (undisturbed) for longer than 60 days.
9. Utilities shown are as proposed and not necessarily installed.
10. This property is within the service area for Consolidated Utility District (CUD). Specific requirements for water service should be directed to Mr. Bill Durnill, who can be contacted at 615-993-7225.
11. Per The Rutherford County Regional Planning Commission (R.C.R.P.C.), all roof drains/down spouts must drain to proposed storm drainage network and not empty to by-pass ditch or offsets.
12. Per RCRPC, a photometric plan meeting the requirements of the RCRPC Zoning ordinance shall be submitted by the owner prior to issuance of a grading permit.
13. Per RCRPC, this development must adhere to the regulation found in Section 1103 C.3, Mini Warehouses.
14. Per RCRPC, if lighting is to be provided, an approved photometric plan will be required.
15. EPCO Measures are designed for the 2-year, 24-hour storm event.
16. Per RCRPC, Detention Pond As Built and Long Term Maintenance Agreement must be provided to County Engineer's office prior to application for certificate of occupancy.



LOCATION MAP



NO.	DATE	DESCRIPTION
0	03-11-16	Original Issue- For Submittal
1	03-22-16	Revised Per RCRPC Staff Comments
2	04-08-16	Revised For Reubmittal to RCRPC
3	04-19-16	Revised Per Staff Comments



OWNER: Stan Vaught, et ux Terri Vaught  
 ADDRESS: 6675 West Trimble Road  
 Milton, TN 37118  
 Tax Map 61, Parcel 29.03  
 Record Book 1260, Page 3217

THIS PARCEL IS PARTIALLY LOCATED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 470165, PANEL NO. 01674, ZONE(S): AE & X, DATED 01-05-07.



**EROSION PREVENTION & SEDIMENT CONTROL INITIAL MEASURES**

**LASCASSAS BOAT & MINI STORAGE**

6854 Lascassas Pike, Lascassas, TN  
 22th Civil District of Rutherford County, Tennessee

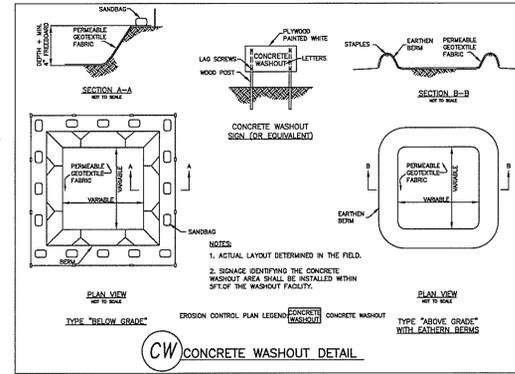
Date: February, 2016 Scale: 1"=30' Sheet 6 of 7

**LEGEND**

- ⊗ Power Pole
- ⊕ Existing Fire Hydrant
- ⊙ Proposed Fire Hydrant
- ⊖ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- W — Existing Water Line
- W — Proposed Water Line
- S — Existing Sanitary Sewer Line
- S — Proposed Sanitary Sewer Line
- ⊕ Existing Manhole
- ⊕ Proposed Manhole
- CD — Sewer Line Check Dam
- CD — Existing Contours
- CD — Proposed Contours
- ⊕ Existing Spot Elevations
- ⊕ Proposed Spot Elevations
- SF — Siltation Fence
- ⊕ Turf Reinforcement Mat
- ⊕ Stone Check Dam
- ⊕ Storm Drain Inlet Protection
- ⊕ Proposed Light; 20' Pole, Shoebox with 4 Bulbs

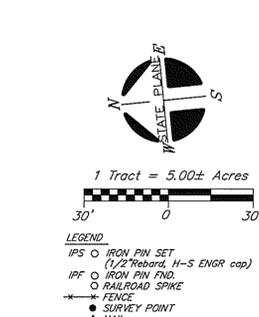
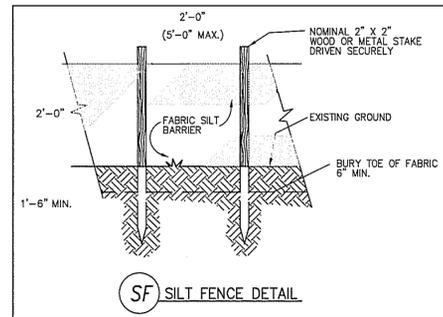
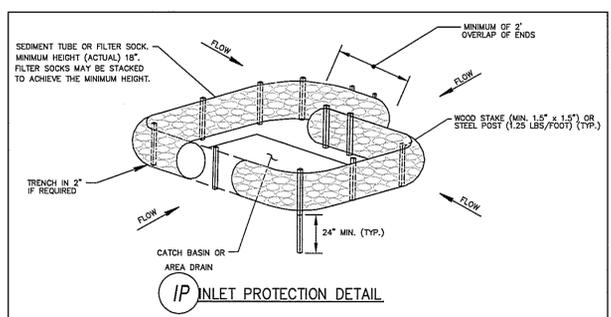
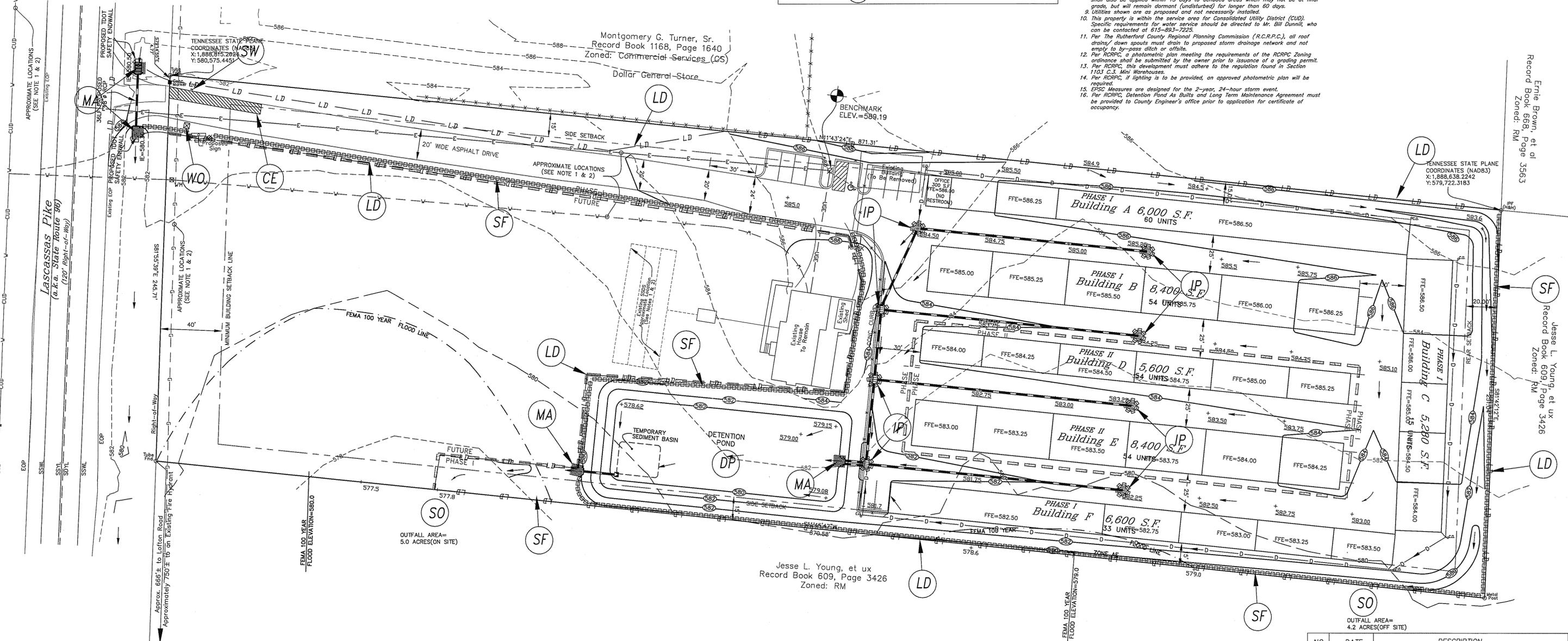
**EROSION CONTROL LEGEND**

- (MA) TURF REINFORCEMENT MATTING (TYPE II)
- (SO) SITE OUTFALL
- (SF) SILT FENCE
- (CE) CONSTRUCTION EXIT
- (WO) CONCRETE WASH OUT AREA
- (SW) SWPPP BOARD
- (LD) LIMITS OF DISTURBANCE
- (DP) DETENTION/RETENTION POND
- (IP) INLET PROTECTION



**PLAT NOTES**

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**EROSION PREVENTION & SEDIMENT CONTROL INTERMEDIATE MEASURES**

**LASCASSAS BOAT & MINI STORAGE**

6854 Lascassas Pike, Lascassas, TN  
 22th Civil District of Rutherford County, Tennessee

Date: February, 2016 Scale: 1"=30' Sheet 7 of 7