

Rutherford County Regional Planning Commission

Agenda – September 28, 2015 – 9:00 AM

Planning Department Mezzanine Meeting Room

- I. CALL TO ORDER
- II. PRAYER/PLEDGE OF ALLEGIANCE
- III. ROLL CALL/DETERMINATION OF QUORUM
- IV. APPROVAL OF THE MINUTES FOR AUGUST 10, 2015, AUGUST 24, 2015 AND SEPTEMBER
- V. ITEMS WITHDRAWN/DEFERRED
- VI. PLAT EXTENSION
 - A. Twelve Corners, Section 3, Request for 12-month extension
- VII. SUBMITTED FOR PRELIMINARY PLAN APPROVAL
 - A. South Haven Subdivision (Revisions) (15-10xx) – 578 lots (567 residential) on 268.33 acres, zoned PUD, located along Ocala Road, South Haven Development Group, LLC applicant
 - B. Twin Oaks Point (15-1015) – 26 lots on 18.1 acres, zoned RM, located along Twin Oak Drive, Donald L. Bruce, Jr. applicant. Includes a waiver request to the fire hydrant requirements
- VIII. SUBMITTED FOR FINAL PLAT APPROVAL
 - A. Hall Farm Subdivision, Section I (Reapproval) (15-2002) – 7 lots on 12.77 acres, zoned RL, located along McKee Road, Lewis Perry applicant
 - B. Teasley One-Lot Subdivision (15-2063) – 1 lot on .34 acres, zoned RM, located along West Jefferson Pike, Clint Teasley applicant. Includes waivers to the offsite soils requirements, fire hydrant distance and ingress/egress easement width requirements
 - C. Bolton One-Lot Subdivision (15-2066) – 1 lot on 5.01 acres, zoned RM, located off of West Jefferson Pike, Ralph Bolton applicant. Includes a waiver to the width of a private easement
 - D. Harvest Woods, Section II, Phase I (15-2068) – 16 lots on 12.28 acres, zoned RM, located along Beverly Randolph Drive (North of Cutoff Road), Harvest Grove, LLC applicant
 - E. Stephen D. Nutt (15-2069) – 2 tracts on 25.00 acres, zoned RM, located off of McNeil Drive (South of Franklin Road/Highway 96), Stephen D. Nutt applicant. Includes a waiver to the fire hydrant location requirements
 - F. Poplar Cove Subdivision, Section III (15-2070) – 7 lots on 5.57 acres, zoned RM, located off of West Sagefield Drive, Harmony Homes of Tennessee applicant
 - G. David Alexander Subdivision (15-2071) – 2 lots on 9.03 acres, zoned RM, located along Thompson Road, David and Becky Alexander applicants

H. Lewis Downs, Section II (15-2072) – 19 lots on 8.81 acres, zoned RM, located along Rhonda Drive (North of Rock Springs Midland Road), Stewart Springs, LLC applicant

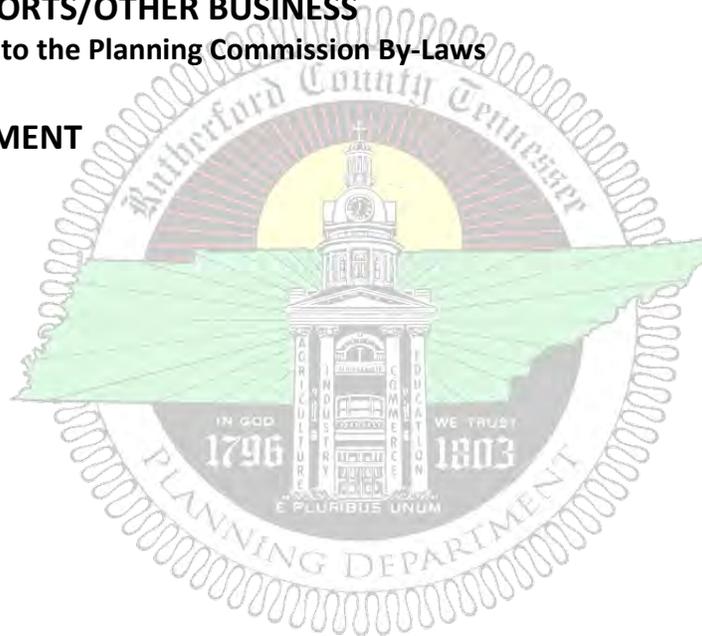
IX. SUBMITTED FOR SITE PLAN APPROVAL

- A. True Gospel (Revisions) (15-3011) – New construction of 3,865 square feet of Small Community Assembly space (Religious Facility) on 3.62 acres, zoned RM, located along West Jefferson Pike, True Gospel Missionary Baptist Church applicant
- B. American Tower – Cellular Tower, Veals Road (15-3023) – New construction of a 195-foot communications tower with accessory structures (Equipment Shelter) on 5.01 acres, zoned RM, located along Veals Road, Jacobs Engineering applicant
- C. Central Valley Parking and Storage (15-3024) – New construction of 40,500 square feet of General Personal Services space (Mini-storage) on 6 acres, zoned CS, located along Leanna Central Valley Road, Patty Travis applicant

X. STAFF REPORTS/OTHER BUSINESS

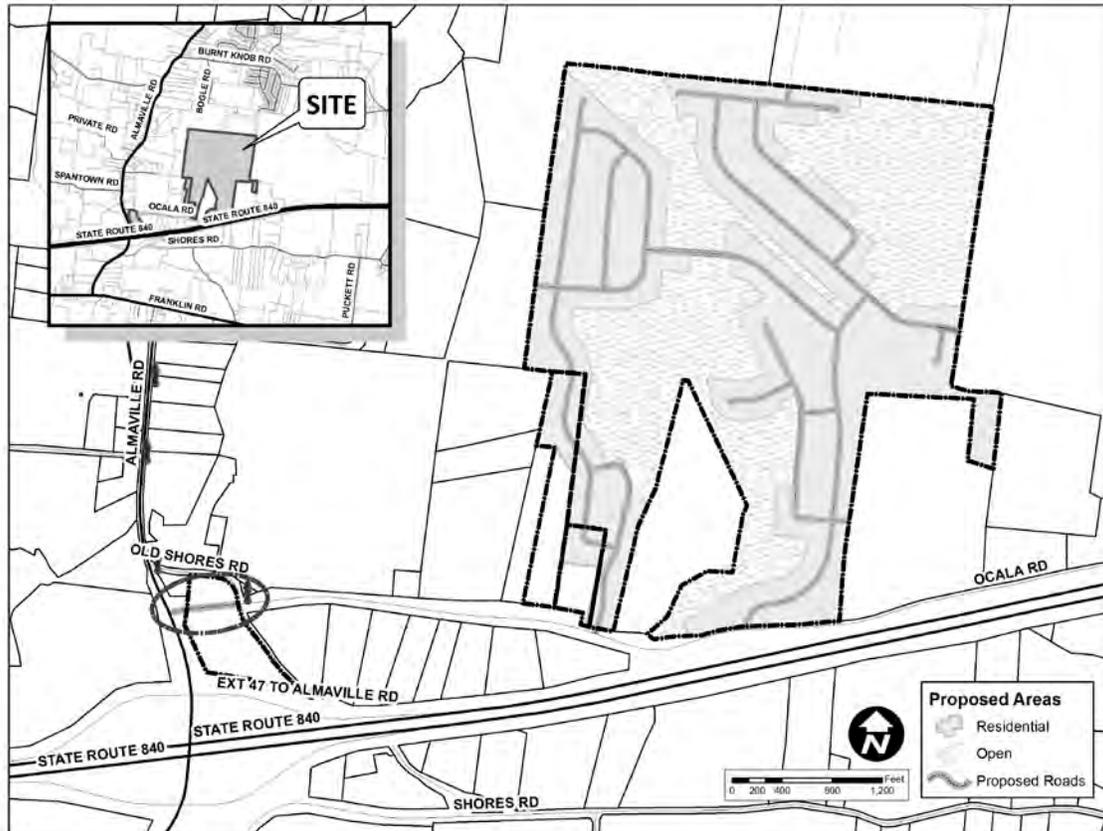
- A. Changes to the Planning Commission By-Laws

XI. ADJOURNMENT



Rutherford County Regional Planning Commission September 28, 2015 Staff Comments

Plat/Plan Name: South Haven Subdivision (Revisions) (15-1014)
Request: Preliminary Plan Approval
Site Details: 578 lots on 268.33 acres, zoned PUD
Applicants: South Haven Development Group, LLC
Property Location: Ocala Road



The subject property is located in the north side of Ocala Road. The Planning Commission approved the preliminary plan for this development at their June 22, 2015 meeting. Staff explained that the developers were pursuing an amendment to their PUD approval and that this plan was likely to come back before the Commission. The revised PUD application was approved by the Board of Commissioners at their August 13, 2015 meeting.

The changes consisted of an additional 6.5 acres of land, allowing an additional 19 lots, street layout changes and the extension of Ocala Road to Almadale Road. The applicant needs to provide Staff with a letter from TDOT approving this proposed connection. Most of the other comments were routine in nature. Any approval should be made subject to all Staff Comments.

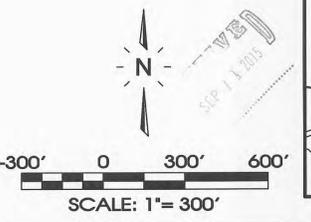
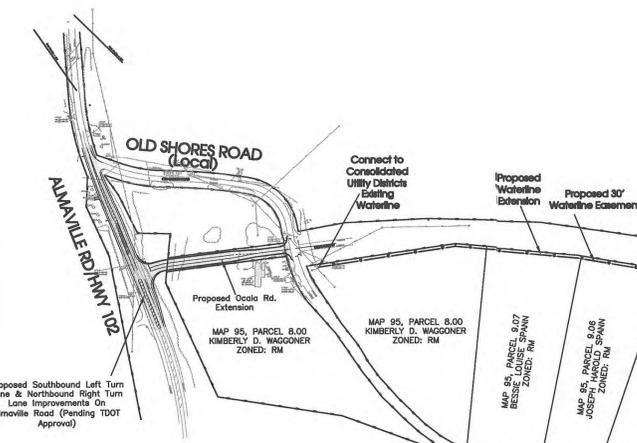
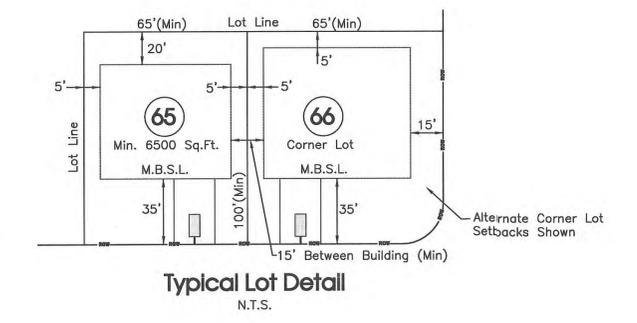
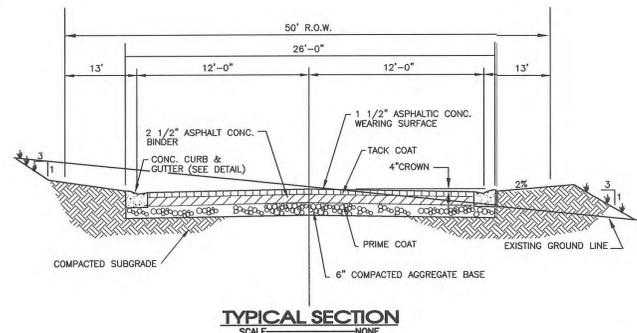


Table Of Contents:

- 1) Master Plan
- 2) Preliminary Plan
- 3) Preliminary Plan
- 4) Preliminary Plan
- 5) Preliminary Plan
- 6) Preliminary Plan
- 7) Lot Size Chart

Notes:
 1) Phase Lines Are For General Intent And May Adjust To Meet Construction And Market Conditions. Each Phase Will Be Broken Into Smaller Sections Of 30-40 Lots Each.

2) Stream Buffer Is Required To Be 60' Wide Average, 30' Wide Minimum And May Be Adjusted From 60' Average On Construction Plans For Construction Issues.

3) Utility Locations Are For General Intent And May Be Adjusted On Construction Plans.

4) Stormwater Areas & Sizes & Drainage Easements Are Shown For General Intent And Subject To Find Construction Plans.

5) Approval Is Subject To The Conditions Of The Approved Pattern Book For File: 14-A013

6) Lots 38-44, 493 Shall Have No Access On Ocala Rd.

* Sinkholes To Remain

Owner/Developer:

South Haven Development Group, LLC.
 621 Bradley Ct.
 Franklin, TN 37067

Floodplain Note:

A Portion Of This Site Lies Within The 100 Year Flood Plain Per F.E.M.A. Community Panel No. 47149C0230J, Dated Oct. 16, 2008.

Total Site Land Data:

Zoning: PUD
 Total 578 Lots on 268.33± Acres
 Total 567 Buildable Lots

Yard Requirements:

Front: 35'
 Side: 5' (Separation Between Buildings)
 Rear: 20'

SEC, Inc.
 ENGINEERING SURVEYING LAND PLANNING
 LANDSCAPE ARCHITECTURE
 650 MIDDLE TENNESSEE BOULEVARD
 MEMPHIS, TENNESSEE 38115
 (901) 521-1111
 WWW.SECINC.COM

REINTEGRITY
 (Not Intended For Construction)

REINTEGRITY OF TENNESSEE

South Haven Subdivision
 Rutherford County, Tennessee

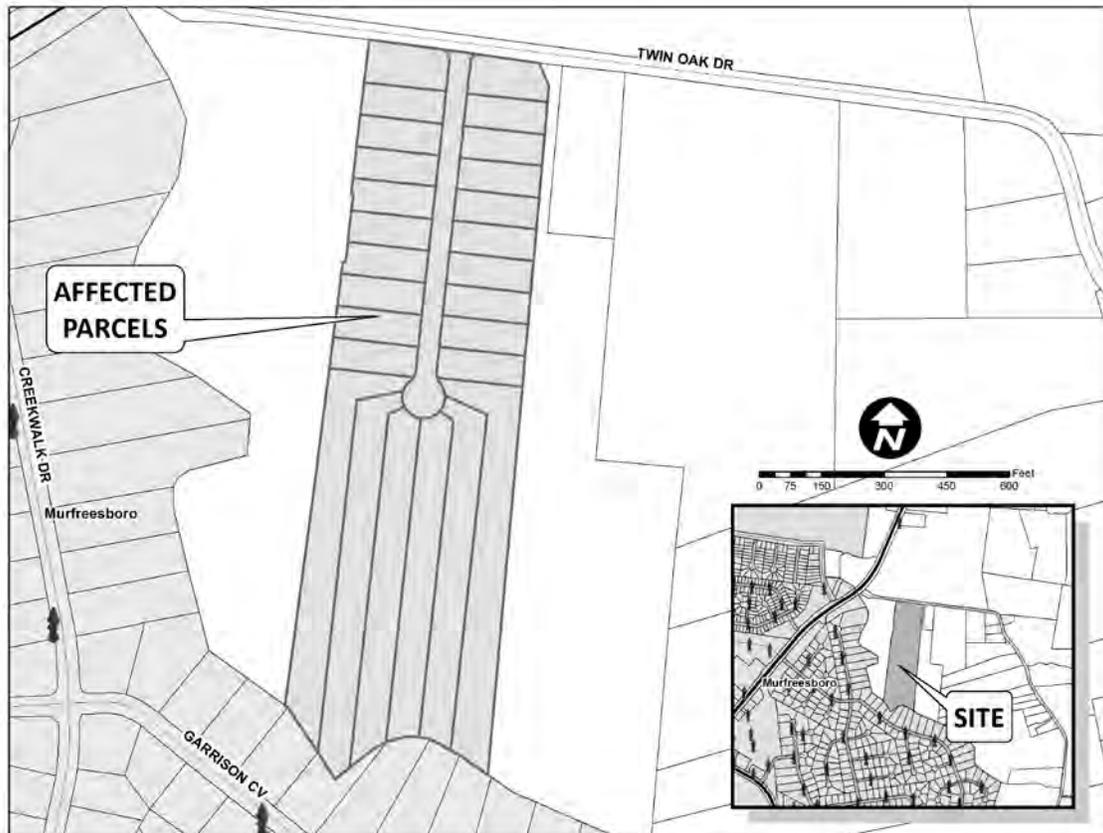
Master Plan

REVISION: 0-11-18 Revised Layout

DRAWN: SJA, CFB3
 DATE: 6-5-15
 CHECKED:
 MAT, MPL
 FILE NAME:
 12104section1
 SCALE:
 1" = 300'
 JOB NO.
 12104
 SHEET:
 1 of 7

Rutherford County Regional Planning Commission September 28, 2015 Staff Comments

Plat/Plan Name: Twin Oaks Point (15-1015)
Request: Preliminary Plan Approval
Site Details: 26 lots on 81.1 acres, zoned RM
Applicant: Donald L. Bruce, Jr.
Property Location: Twin Oak Drive

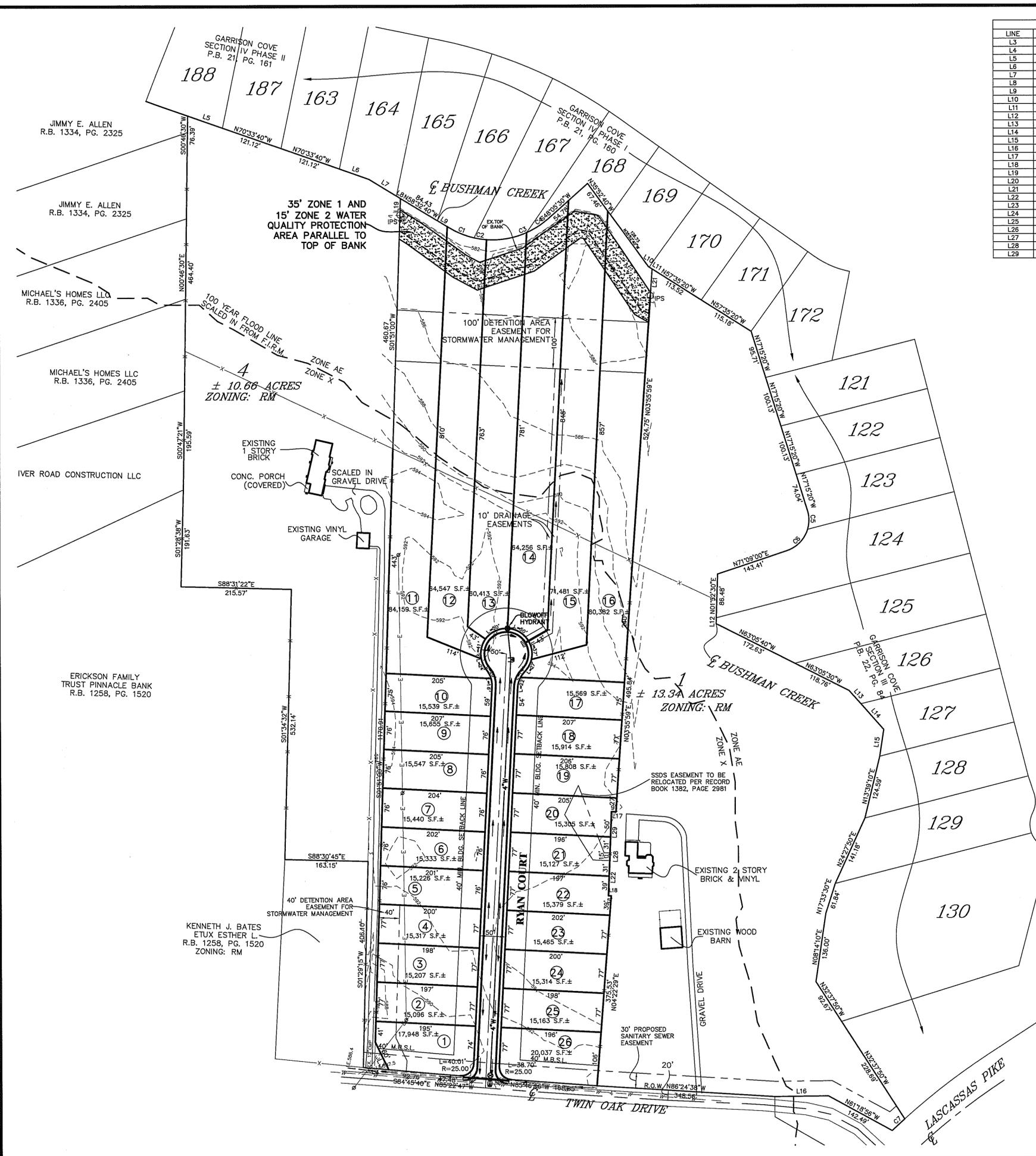


The subject property is located on the south side of Twin Oak Drive. The applicant proposes to subdivide the existing tract into three separate lots.

Staff has a number of issues with this plan. Will-Serve Letters have not been submitted to Staff from either CUD or MTEMC. The detention areas are not shown on their own individual lots, which is required by the County's Subdivision Regulations. The applicant is also asking for a waiver to the fire hydrant requirements as the 4-inch line will more than likely not support a fire hydrant. There is an existing 20-inch water line along Lascassas Pike approximately 600 feet from the property line. The sprinkler option that was adopted by the County Commission was never intended to act as a replacement for providing fire hydrants when extending water lines was practical. Staff is of the opinion

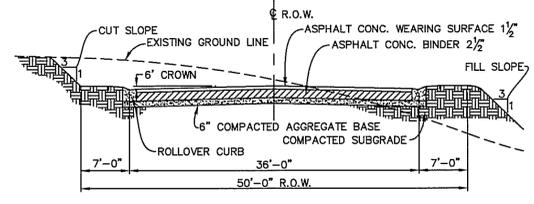
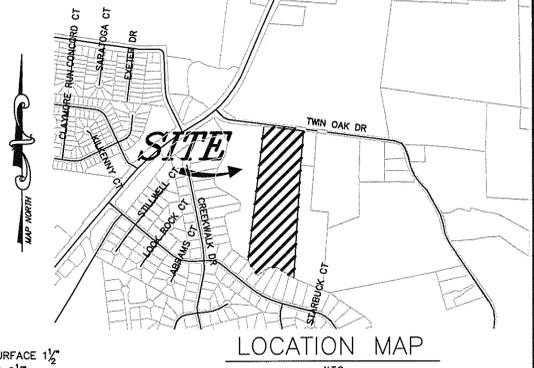
that a water line capable of providing fire hydrants should be extended by the applicant to serve this property.

The issues discussed have the potential to alter the design of this subdivision. If the requested information is not provided in time for the meeting, this item will be removed from the agenda.



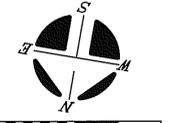
LINE	LENGTH	BEARING
L3	59.92	S25°41'19"E
L4	50.00	N84°45'40"W
L5	72.09	N70°33'40"W
L6	61.22	N70°33'40"W
L7	63.08	N58°32'40"W
L8	9.33	N58°32'40"W
L9	28.10	N58°32'40"W
L10	2.00	N57°35'20"W
L11	6.67	S57°35'20"E
L12	11.62	N01°52'30"E
L13	35.45	N41°00'50"W
L14	67.58	N41°00'50"W
L15	53.82	N08°28'40"E
L16	105.00	N89°27'04"E
L17	8.72	S87°49'47"E
L18	5.45	N88°20'59"W
L19	32.64	S01°51'00"W
L20	35.06	S02°09'52"W
L21	52.26	S03°55'59"W
L22	69.39	N02°14'28"E
L23	32.94	N87°45'34"W
L24	104.76	N31°53'49"W
L25	63.17	N25°29'49"E
L26	140.98	S20°46'48"E
L27	11.65	S85°51'23"E
L28	14.81	N02°14'28"E
L29	81.17	N02°14'28"E

CURVE	DELTA	RADIUS	LENGTH	CHORD	BEARING
C1	18°30'24"	161.10	52.04	51.81	N67°47'50"W
C2	34°25'20"	161.11	96.79	95.34	S85°44'22"W
C3	4°45'21"	96.76	8.03	8.03	S87°05'44"W
C4	17°34'53"	161.10	48.43	48.24	S56°53'00"W
C5	33°53'59"	63.75	37.72	37.17	S00°18'20"E
C6	54°30'04"	63.75	60.64	58.38	S43°53'50"W
C7	1°26'26"	1333.24	33.52	33.52	N48°56'17"E



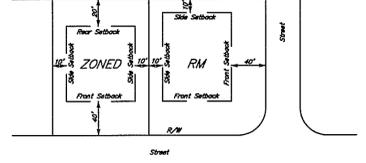
TYPICAL STREET CROSS SECTIONS
N.T.S.

- PLAT NOTES**
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
 - Underground utilities shown were located using available aboveground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
 - It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
 - Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
 - Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
 - The soil types and locations shown hereon are taken from soils maps provided by Randy Dickerson, dated The local health authority maintains a copy of the soils maps. Huddleston-Steele Engineering, Inc., assumes no responsibility for the accuracy or completeness of the soils information provided hereon.



LEGEND FOR MONUMENTS
 IPS O IRON PIN SET
 IPF O IRON PIN FND.
 RAILROAD SPIKE
 FENCE
 SURVEY POINT
 NAIL
 CONG. MARKER FND.

TOTAL ACRES
 26 LOTS, 18.1 ACRES±



TYPICAL BUILDING SETBACK DETAIL
N.T.S.

NOTE: ALL HOUSES IN THIS SUBDIVISION SHALL BE SPRINKLERED.

OWNER: DONALD L. BRUCE, TR
 ADDRESS: 1911 HAYNES DR.
 Murfreesboro, TN 37129

Tax Map 81, Parcel 57.02
 Record Book 1382, Page 2981

THIS PROPERTY IS INCLUDED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 47149C0163H AND 47149C0280H DATED: 01/05/07

NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.

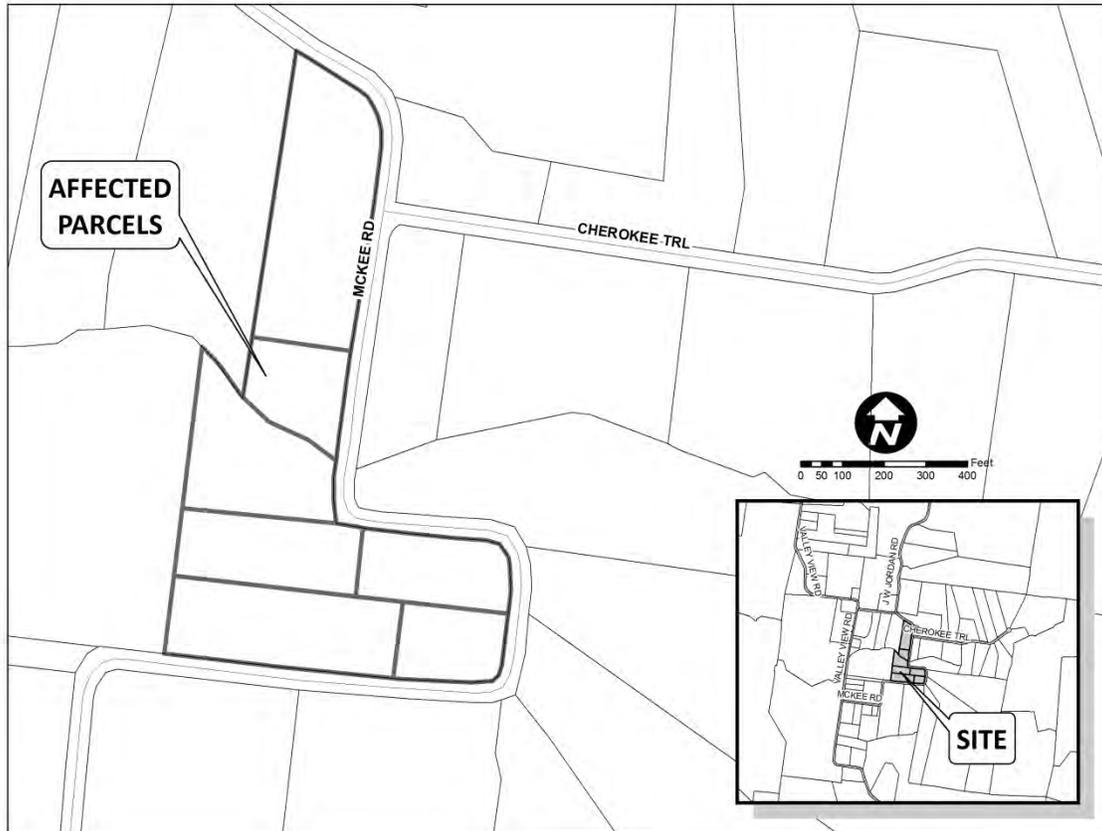
#	DATE	REVISION DESCRIPTION

PRELIMINARY PLAN
TWIN OAKS POINT
 TWIN OAKS DRIVE
 21ST CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DATE: SEPTEMBER, 2015 SCALE 1"=100' SH. 1 OF 2

Rutherford County Regional Planning Commission September 28, 2015 Staff Comments

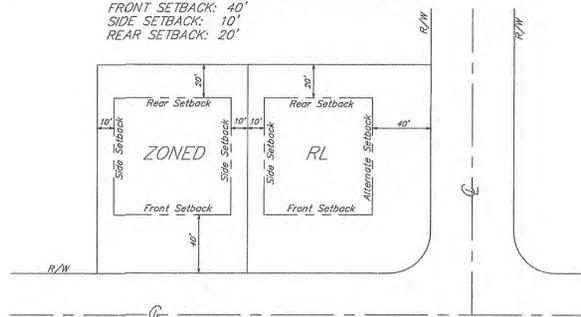
Plat/Plan Name: Hall Farm Subdivision (15-2002)
Request: Final Plat Approval
Site Details: 7 lots on 12.77 acres, zoned RL
Applicant: Lewis Perry
Property Location: McKee Road



The subject property is located on the west side of McKee Road. The Planning Commission approved this plat at their January 26, 2015 meeting. A final plat approval is valid for six months and has expired for this plat. The applicant is asking for reapproval. Nothing on the plat has changed since the original approval. Staff has identified a few minor issues but is comfortable placing this plat on the agenda.

Any approval should be made subject to all Staff Comments.

ZONING: RL = Low Density Residential
 (Minimum Lot Size = 43,560 Square Feet)
 FRONT SETBACK: 40'
 SIDE SETBACK: 10'
 REAR SETBACK: 20'



TYPICAL BUILDING SETBACK DETAIL

CERTIFICATION OF GENERAL APPROVAL FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS WITH RESTRICTIONS

General approval is hereby granted for lot proposed herein as being suitable for subsurface sewage disposal with the listed and/or attached restrictions. Before the initiation of construction, the location of the house or other structure(s) and plans for the subsurface sewage disposal system shall be approved by the local health authority.

Date: _____ TN Dept. of Environment & Conservation
 Division of Ground Water Protection

- TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION:
- Any cutting or filling after _____ may render lots unsuitable for subsurface sewage disposal.
 - All lots are approved for up to a _____ bedroom residence.
 - All shaded areas are to be reserved for subsurface sewage disposal systems. Keep all houses, utilities, & drives outside shaded areas.

- 75 MPI
- ≤60 MPI

Lot No.	Sq. Ft. of ≤60mpi soil	Sq. Ft. of 75mpi soil	Total Soil Area
1	—	7,127	7,127
2	9,993	2,341	12,334
3	—	16,318	16,318
4	4,235	9,944	14,179
5	3,275	10,815	14,090
6	—	25,739	14,996
7	—	14,409	14,409

CURVE	DELTA	CURVE TABLE			BEARING
		RADIUS	LENGTH	CHORD	
C1	64°59'16"	40.59	46.04	43.61	N53°26'40"E
C2	6°19'12"	836.56	92.28	92.23	N06°32'01"E
C3	4°21'27"	836.56	63.82	63.61	N01°11'41"E
C4	56°29'49"	40.00	39.44	37.86	N36°21'46"W
C5	49°50'47"	160.03	139.22	134.87	N18°10'33"W
C6	1°48'49"	1137.43	36.00	36.00	S89°19'59"E

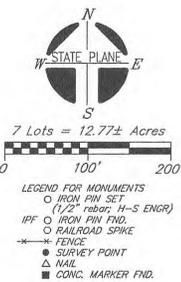
LINE	LENGTH	BEARING
L1	43.51	S07°34'56"E
L2	69.27	S79°30'57"E
L3	49.24	S80°26'31"E
L4	67.14	S80°26'31"E
L5	60.92	S08°42'53"E
L6	56.14	S02°33'58"W
L7	20.92	S08°48'17"W
L8	18.15	S34°08'38"E
L9	69.69	S34°08'38"E
L10	38.81	S36°42'53"E
L11	30.74	S45°18'01"E
L12	48.78	S54°38'05"E

RECEIVED
 SEP 1 2015
 BY: _____

I hereby certify that this is a Category "I" survey and the ratio of precision of the unadjusted survey is 1:10,000 as shown herein and that this survey was done in compliance with current Tennessee Minimum Standards of Practice for Land Surveyors.

OWNER: Lewis Perry, et ux
 Betsy Perry
 ADDRESS: 3742 Lascossos Pike
 Murfreesboro, TN 37130
 Tax Map 3B, Part of Parcel 35.00
 Record Book 1319, Page 1121

THESE LOTS ARE NOT INCLUDED IN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP #70165, PANELS 0154H & 0158H, ZONE: X, DATED: JANUARY 05, 2007.



LOCATION MAP

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.

Date: _____ Lewis Perry
 Record Book 1319, Page 1121
 _____ Betsy Perry

CERTIFICATE OF ACCURACY
 I hereby certify that the plan shown and described hereon is true and correct survey to the accuracy required by the Rutherford County, Tennessee, Planning Commission and that the monuments have been placed as shown hereon to the specifications of the County Engineer.

4-16-2015 Richard H. Steele, Jr.
 Date: _____ Richard H. Steele, Jr., Tenn. RLS #1637

CERTIFICATE OF APPROVAL FOR RECORDING
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for Rutherford County, Tennessee with the exception of such variances, if any, as are noted in the minutes of the planning commission and that it has been approved for recording in the office of the County Registrar.

Date: _____ SECRETARY, PLANNING COMMISSION

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER
 Middle Tennessee Electric Membership Corporation (MEMCO) will provide electric service to the subject property according to the normal operating practices of MEMCO as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MEMCO, and in accordance with the plat approval checklist, tree planting guidelines and other regulations contained on the MEMCO website at www.memco.com (collectively the "Requirements"). No electric service will be provided until MEMCO's Requirements have been met and approved in writing by an authorized representative of MEMCO. Any approval is, at all times, contingent upon continuing compliance with MEMCO's requirements.

Date: _____ MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

CERTIFICATE OF APPROVAL WATER SYSTEMS
 I hereby certify that the subdivision plat entitled "Section I - Hall Farm Subdivision" has been approved by the engineers for Consolidated Utility District of Rutherford County for water service, provided, however, that the lines, valves, and fittings must be installed in accordance with C.U.D. specifications as determined by its engineers. No water service will be provided until that certification has been made in writing.

Date: _____ CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

RESIDENTIAL FIRE SPRINKLER CERTIFICATE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY
 Consolidated Utility District can adequately service the development of "Section I - Hall Farm Subdivision" for domestic water service. Adequate fire protection cannot be obtained through fire hydrants to be installed and Rutherford County requires all occupied structures, including detached garages constructed within this development be protected by independent fire sprinkler systems. Installation criteria from the State Fire Marshall's Office and Consolidated Utility District must be met. Inspection and approval of each structure constructed will be completed by the local building code authority with jurisdiction. Residential fire sprinkler system will require a one inch meter installation.

Date: _____ CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK: _____, PAGE: _____

Final Plat - Section I HALL FARM SUBDIVISION

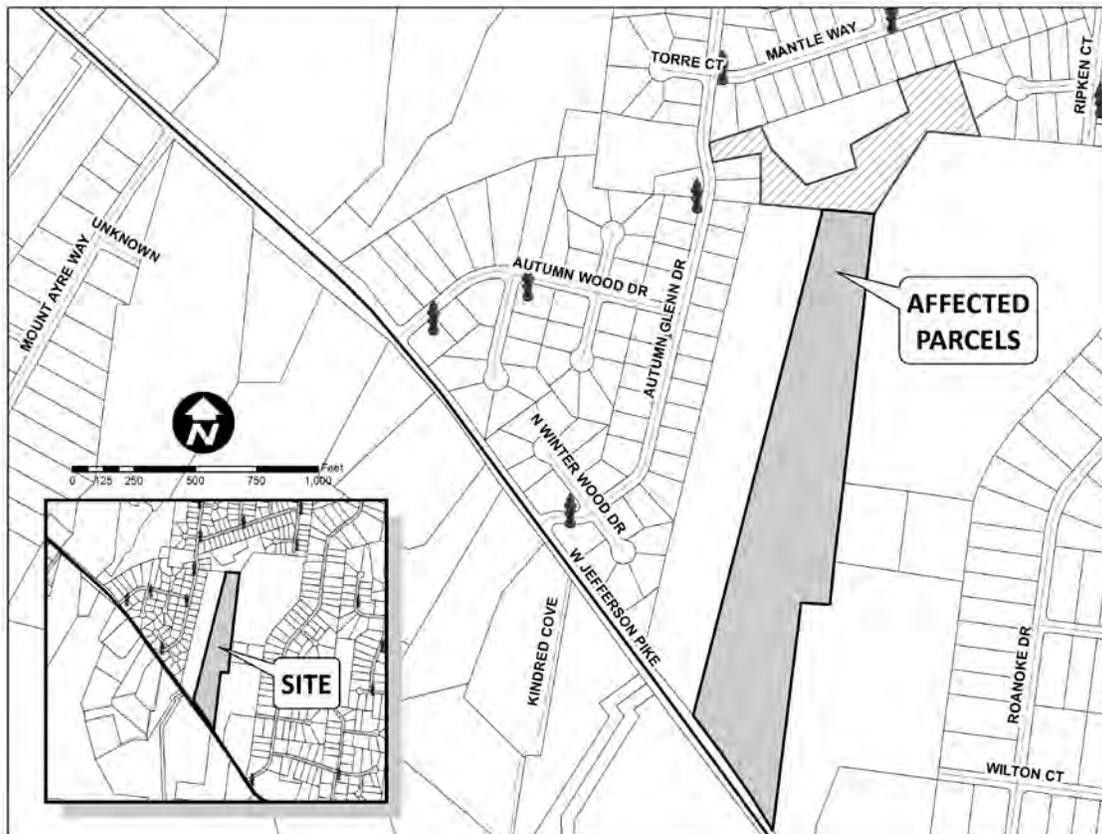
15th Civil District of Rutherford County, Tennessee

Date: January, 2015 Scale: 1"=100' Sheet 1 of 1

HUDLESTON-STEEL ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 SURVEYING: 1-893-4084, FAX: 893-0080

Rutherford County Regional Planning Commission September 28, 2015 Staff Comments

Plat/Plan Name: Teasley One-Lot Subdivision (15-2063)
Request: Final Plat Approval. Includes waivers to the fire hydrant requirements, lot size on a private easement and off-site soils easement
Site Details: 1 lot on .34 acres, zoned RM
Applicant: Clint Teasley
Property Location: West Jefferson Pike



The subject property is located on the north side of West Jefferson Pike. The Planning Commission granted waivers to the provisions listed above at their May 26, 2015 meeting. The plat is before you because Staff cannot administratively approve plats that contain waivers. Besides some housekeeping changes, the plat appears to be in good order.

Any approval should be made subject to all Staff Comments as well as the waiver requests.

PLAT NOTES

- The purpose of this plat is to create a one Lot Subdivision.
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available aboveground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- Suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways, including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conduits, drainage pipes, and natural gas lines.
- The soil types and locations shown on hereon are taken from soil maps provided by Randy Dickerson, dated 7-04-2015. The local health authority maintains a copy of the soil maps and has reviewed this final plat for conformance with same. Huddleston-Steele Engineering, Inc. assumes no responsibility for the accuracy or completeness of the soils information provided hereon.
- All surrounding parcels are zoned RM per the Rutherford County Regional Planning Commission (R.C.R.P.C.).
- The nearest fire hydrant is more than 1,000 feet from the nearest property corner.

CERTIFICATION OF GENERAL APPROVAL FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS WITH RESTRICTIONS

General approval is hereby granted for lot(s) proposed hereon as being suitable for subsurface sewage disposal with the listed and/or attached restrictions. Before the initiation of construction, the location of the house or other structure(s) and plans for the subsurface sewage disposal system shall be approved by the Division of Water Resources.

Date: _____ TN Dept. of Environment & Conservation
Division of Ground Water Protection

TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION:

- Any cutting or filling after _____ may render lots unsuitable for subsurface sewage disposal.
- Lot 1 is approved for up to a _____ bedroom residence.
- All shaded areas are to be reserved for subsurface sewage disposal systems. Keep all houses, utilities, & drives outside shaded areas.

75 MPI
60 or 45 MPI

SOILS AREAS			
LOT	≤ 60 MPI	75 MPI	TOTAL
1	10,000 SF	-----	10,000 SF



LOCATION MAP
N.T.S.

CERTIFICATE OF OWNERSHIP AND DEDICATION
I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.

Date: _____ Jimmy L. Teasley
Deed Book 493, Page 410
Margaret W. Teasley

FINAL PLAT CERTIFICATE FOR APPROVAL OF WATER SYSTEMS
I hereby certify that the subdivision plat entitled Minor Plat, Teasley One Lot Subdivision has been approved by the engineers of Consolidated Utility District of Rutherford County for water service, provided however, that the lines, valves, and fittings must be installed in accordance with C.U.D. specifications as determined by its engineers. No water service will be provided until that certification has been made in writing.

Date: _____ Consolidated Utility District Official

CERTIFICATE OF ACCURACY
I hereby certify that the plan shown and described hereon is true and correct survey to the accuracy required by the Rutherford County, Tennessee, Planning Commission and that the monuments have been placed as shown hereon to the specifications of the County Engineer.

8-11-2015 Richard H. Stam, Jr., Tenn. RLS No. 1637
Date Richard H. Stam, Jr., Tenn. RLS No. 1637

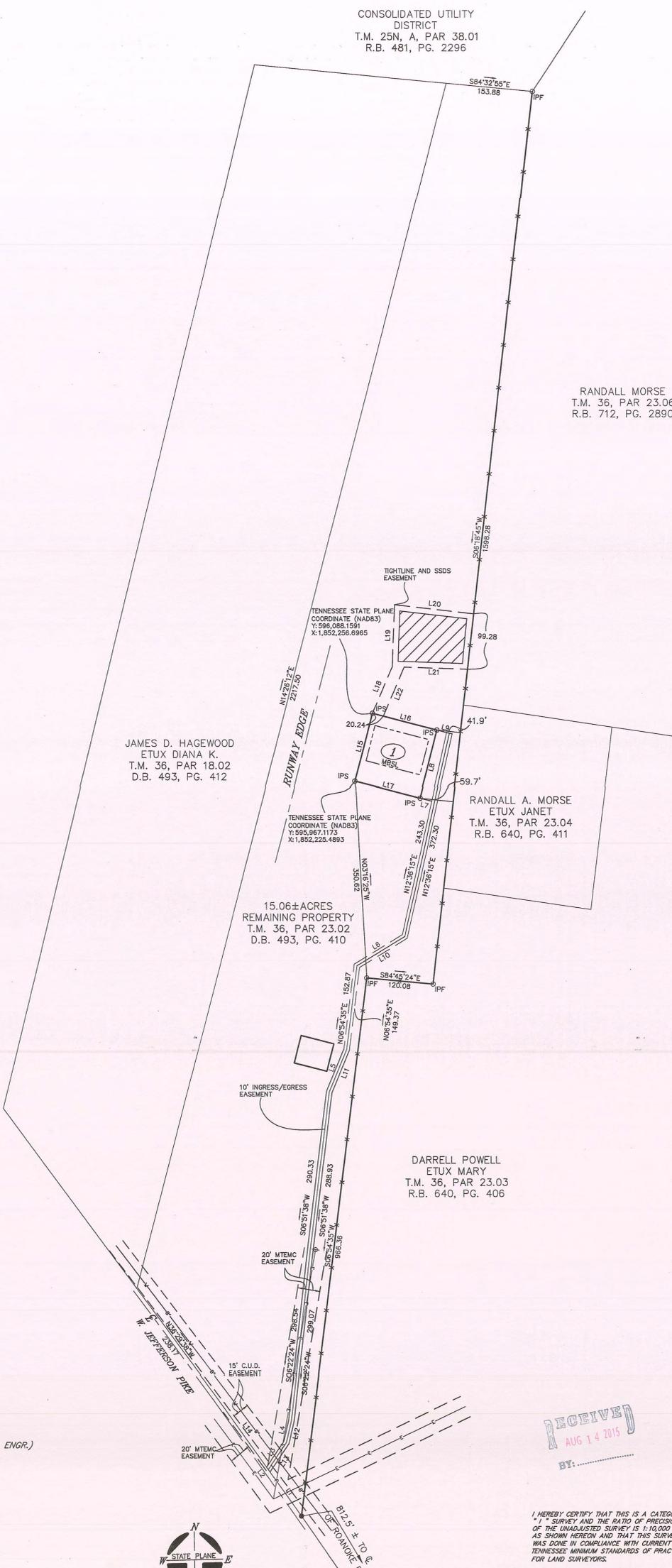
CERTIFICATE OF APPROVAL FOR RECORDING
I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for Rutherford County, Tennessee with the exception of such variances, if any, as are noted in the minutes of the planning commission and that it has been approved for recording in the office of the County Registrar.

Date: _____ SECRETARY, PLANNING COMMISSION

CERTIFICATE OF APPROVAL OF ELECTRICAL POWER
Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the Rules and Regulations, By-Laws, Policy Bulletins of MTEMC. No electric service will be provided until MTEMC's requirements have been met and approved in writing by an authorized representative of MTEMC.

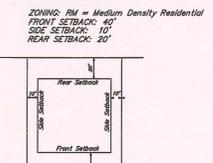
Date: _____ MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

LINE	LENGTH	BEARING
L1	96.79	N35°42'10"W
L2	10.70	S35°42'09"E
L3	55.78	S33°31'09"W
L4	38.54	S12°54'48"W
L5	82.13	S22°18'27"W
L6	101.09	N58°42'41"E
L7	21.81	N75°32'34"W
L8	125.00	N14°27'26"E
L9	27.77	N75°32'34"W
L10	103.49	N50°42'41"E
L11	82.12	S22°18'27"W
L12	40.93	S12°54'48"W
L13	61.39	S33°31'09"W
L14	154.35	N35°42'10"W
L15	123.00	S14°27'26"W
L16	120.00	N75°32'34"W
L17	120.00	S75°32'34"E
L18	90.59	N23°22'05"E
L19	110.69	N02°06'01"E
L20	142.30	S33°17'03"E
L21	113.07	N87°59'45"W
L22	95.28	N23°22'05"E



LEGEND

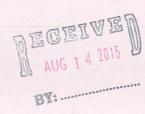
- Existing Power Pole
- Existing Water Line
- Existing Electric Line
- Iron Pin Set (1/2" Rebar With Stamped Plastic Cap--H/S ENGR.)
- Iron Pin Fnd.
- Fence
- Survey Point



1 Lot = ± .34 Acres
15,000 SQ. FT.

OWNER: JIMMY L. TEASLEY
ETUX MARGARET W. TEASLEY
ADDRESS: 1486 W. Jefferson Pike
Murfreesboro, TN 37129
Tax Map 36, Parcel 23.02

THIS PROPERTY IS NOT INCLUDED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 47149C0132H & 47149C0134H DATED: 01/05/07



I HEREBY CERTIFY THAT THIS IS A CATEGORY "1" SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS.

DATE OF RECORDING: _____
TIME OF RECORDING: _____
PLAT BOOK: _____, PAGE: _____



Huddleston-Steele Engineering, Inc.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: 893 - 4084, FAX: 893 - 0080

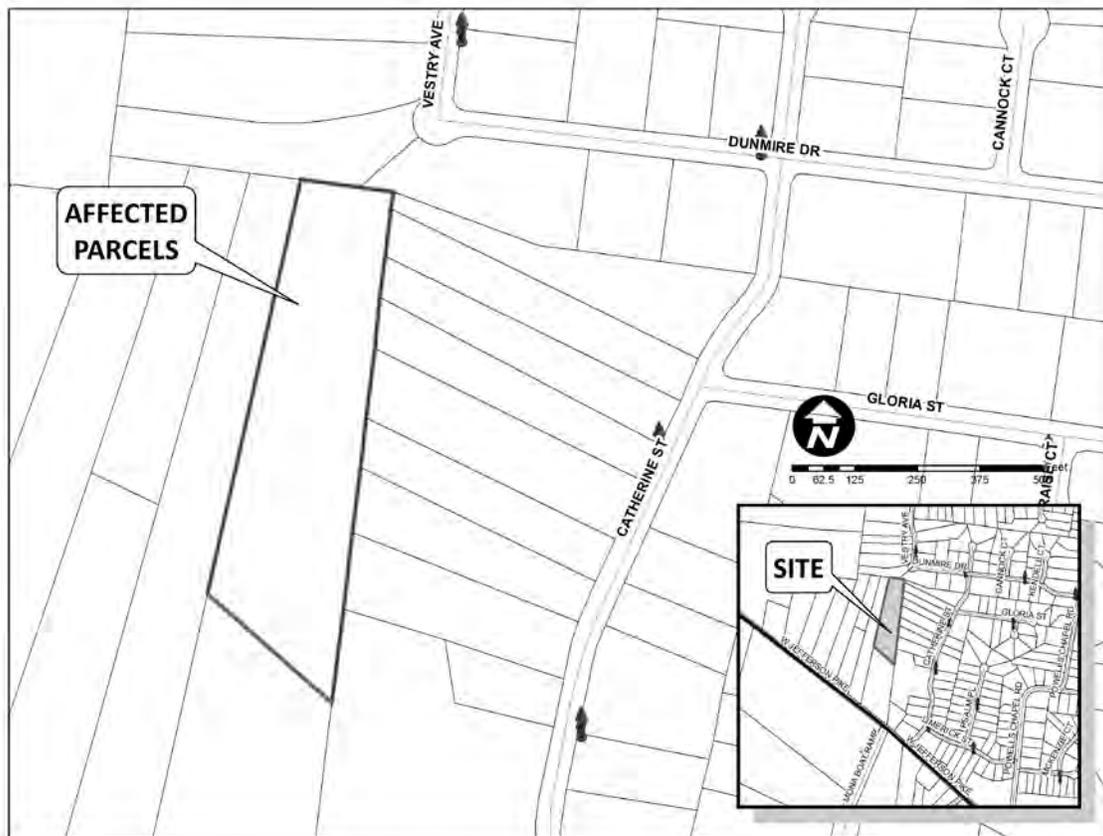
MINOR PLAT
TEASLEY
ONE LOT SUBDIVISION

5th Civil District of Rutherford County, Tennessee
Date: June, 2015 Scale: 1"=100' Sheet 1 of 1

152063

Rutherford County Regional Planning Commission September 28, 2015 Staff Comments

Plat/Plan Name: Bolton One-Lot Subdivision (15-2066)
Request: Final Plat Approval. Includes a waiver request to the minimum width of a private access easement
Site Details: 1 lot on 5.01 acres, zoned RM
Applicant: Ralph Bolton
Property Location: West Jefferson Pike



The subject property is located on the north side of West Jefferson Pike. The Planning Commission granted a waiver to the width of a private easement provision at their May 26, 2015 meeting. The plat is before you because Staff cannot administratively approve plats that contain waivers. Besides some housekeeping changes, the plat appears to be in good order.

Any approval should be made subject to all Staff Comments as well as the waiver request.

- PLAT NOTES**
- The purpose of this plat is to create a 1 Lot Subdivision.
 - In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
 - Underground utilities shown were located using available aboveground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be Present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
 - It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
 - Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
 - Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, Telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
 - The soil types and locations shown on lot 1 hereon are taken from soils maps provided by _____ dated _____. The local health authority maintains a copy of the soils maps and has reviewed this final plat for conformance with same. Huddleston-Steele Engineering, Inc., assumes no responsibility for the accuracy or completeness of the soils information provided hereon.
 - All surrounding parcels are zoned RM per the Rutherford County Regional Planning Commission (R.C.R.P.C.).
 - The nearest fire hydrant is more than 1,000 feet from the newest property corner.

CERTIFICATION OF GENERAL APPROVAL FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS WITH RESTRICTIONS

General approval is hereby granted for lot(s) proposed hereon as being suitable for subsurface sewage disposal with the listed and/or attached restrictions. Before the initiation of construction, the location of the house or other structure(s) and plans for the subsurface sewage disposal system shall be approved by the Division of Water Resources.

Date _____ TN Dept. of Environment & Conservation
Division of Ground Water Protection

TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION:

- Any cutting or filling after _____ may render lots unsuitable for subsurface sewage disposal.
- Lot 1 is approved for up to a _____ bedroom residence.
- All shaded areas are to be reserved for subsurface sewage disposal systems. Keep all houses, utilities, & drives outside shaded areas.

75 MPI
60 or 45 MPI

SOILS AREAS

LOT	≤ 60 MPI	75 MPI	TOTAL
1	2,453 SF	14,100 SF	16,553 SF



CERTIFICATE OF OWNERSHIP AND DEDICATION
I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.

Date _____ Ralph D. Bolton
Deed Book 592, Page 402
Sheryll L. Bolton

FINAL PLAT CERTIFICATE FOR APPROVAL OF WATER SYSTEMS
I hereby certify that the subdivision plat entitled Minor Plat, Bolton 1 Lot Subdivision has been approved by the engineers of Consolidated Utility District of Rutherford County for water service, provided however, that the lines, valves, and fittings must be installed in accordance with C.U.D. specifications as determined by its engineers. No water service will be provided until that certification has been made in writing.

Date _____ Consolidated Utility District Official

CERTIFICATE OF ACCURACY
I hereby certify that the plan shown and described hereon is true and correct survey to the accuracy required by the Rutherford County, Tennessee, Planning Commission and that the monuments have been placed as shown hereon to the specifications of the County Engineer.

8-21-2015 _____
Date Richard H. Stem, Jr., Tenn. Reg. No. 1637

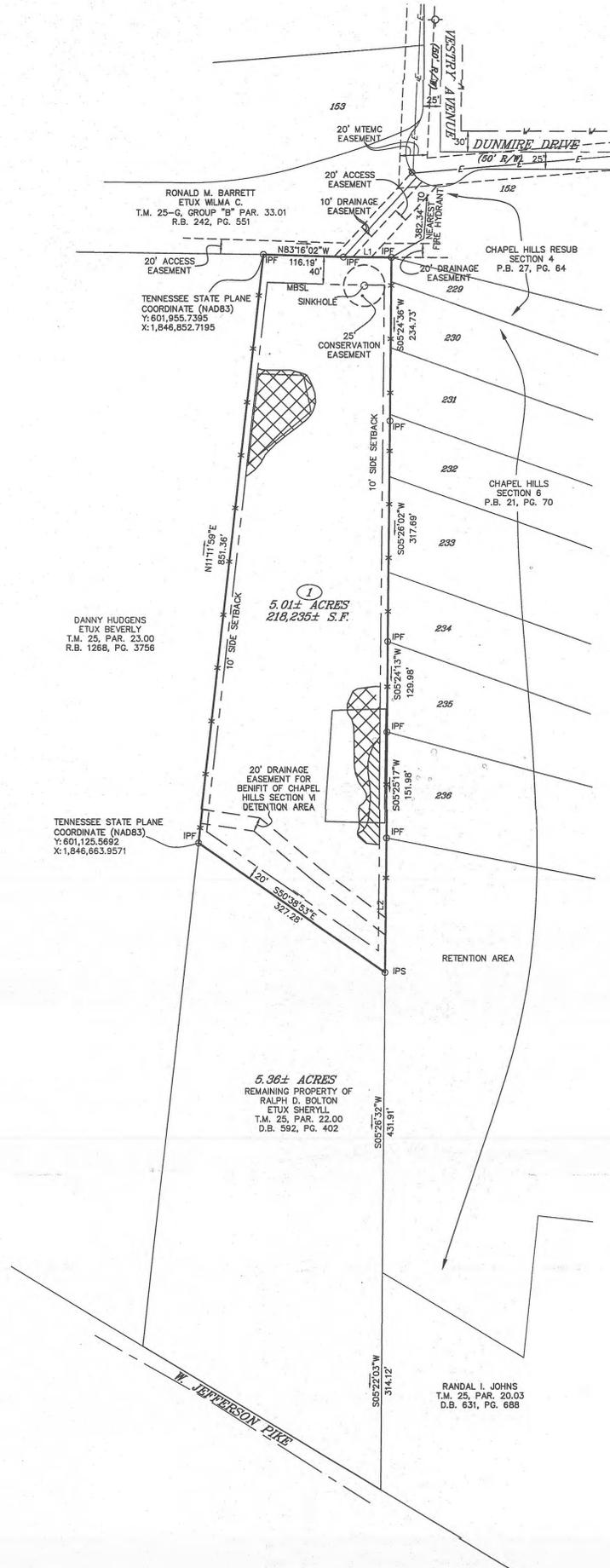
CERTIFICATE OF APPROVAL FOR RECORDING
I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for Rutherford County, Tennessee with the exception of such variances, if any, as are noted in the minutes of the planning commission and that it has been approved for recording in the office of the County Register.

Date _____ SECRETARY, PLANNING COMMISSION

CERTIFICATE OF APPROVAL OF ELECTRICAL POWER
Middle Tennessee Electric Membership Corporation (MEMC) will provide electric service to the subject property according to the normal operating practices of MEMC as defined in the Rules and Regulations, By-laws, Policy Bulletins of MEMC. No electric service will be provided until MEMC's requirements have been met and approved in writing by an authorized representative of MEMC.

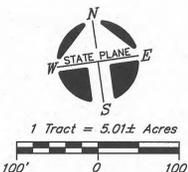
Date _____ MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

LINE	LENGTH	BEARING
LI	69.73	S84°29'58"E
LE	192.59	S05°26'32"W



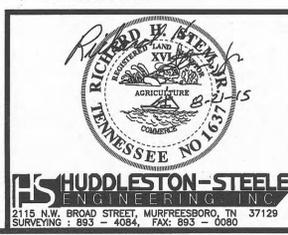
RECEIVED
AUG 24 2015
BY: _____

- LEGEND**
- Ø Existing Power Pole
 - W- Existing Water Line
 - E- Existing Electric Line
 - IPSo Iron Pin Set (1/2" Rebar With Stamped Plastic Cap-H/S ENGR.)
 - IPFo Iron Pin Fnd.
 - Fence



OWNER: RALPH D. BOLTON
ETUX SHERYLL
ADDRESS: 3060 W. Jefferson Pike
Murfreesboro, TN 37129
Tax Map 25, Part of Parcel 22.00

I HEREBY CERTIFY THAT THIS IS A CATEGORY IV SURVEY AND THE PRECISION OF THE SURVEY IS AS SHOWN BY THE POSITIONING ACCURACY GIVEN AT THE 85% CONFIDENCE LEVEL IS: ± 16.000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS. THIS IS CERTIFIED TO STEWART TITLE GUARANTEE.



DATE OF RECORDING: _____
TIME OF RECORDING: _____
PLAT BOOK: _____, PAGE: _____

MINOR PLAT
BOLTON
ONE LOT SUBDIVISION

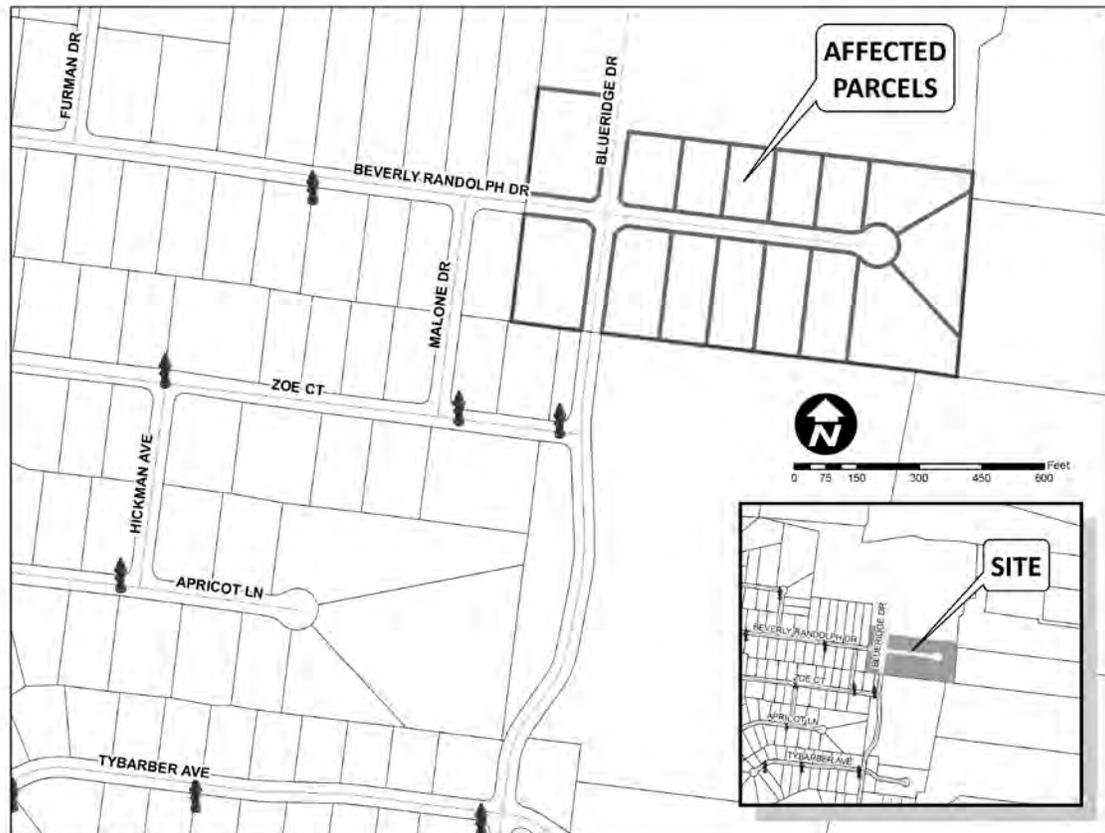
5th Civil District of Rutherford County, Tennessee
Date: August, 2015 Scale: 1"=100' Sheet 1 of 1

This parcel is not included in an area designated as "Special Flood Hazard Area" on the National Flood Insurance Program Community Map 470163, Panel No. 0131H, Zone X, Dated: January 03, 2007.

HUDDLESTON-STEEL ENGINEERING INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
SURVEYING : 893 - 4084, FAX: 893 - 0080

Rutherford County Regional Planning Commission September 28, 2015 Staff Comments

Plat/Plan Name: Harvest Woods, Section II, Phase I (15-2068)
Request: Final Plat Approval
Site Details: 16 lots on 12.28 acres, zoned RM
Applicant: Harvest Grove, LLC
Property Location: Beverly Randolph Drive (North of Cutoff Road)

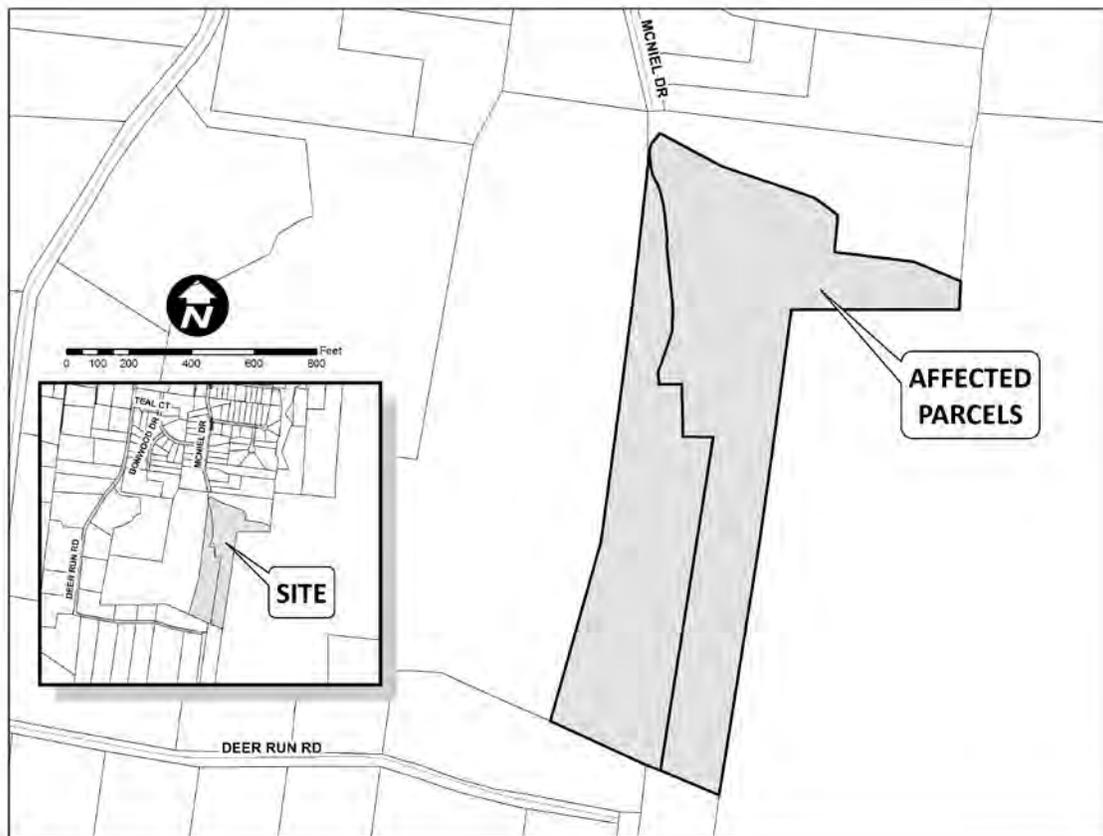


The subject property is located on the north side of Cutoff Road. The preliminary plat for this development was approved by the Planning Commission at their May 26, 2009 meeting. This final plat appears to be consistent with the preliminary approval. The applicant will need to ensure that fire hydrants are appropriately placed to meet the County's requirements.

Any approval should be made subject to all Staff Comments.

Rutherford County Regional Planning Commission September 28, 2015 Staff Comments

Plat/Plan Name: Stephen D. Nutt (15-2069)
Request: Final Plat Approval. Includes a waiver request to the fire hydrant requirements
Site Details: 2 tracts on 25.00 acres, zoned RM
Applicant: Stephen D. Nutt
Property Location: McNeil Drive (South of Franklin Road/Highway 96)



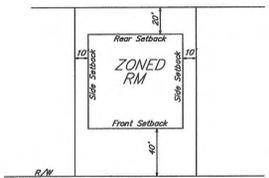
The subject property is located at the end of McNeil Drive, south of Franklin Road. The properties are located off of a private easement and appear to have been created without a subdivision plat. The applicant has submitted this plat to remedy the situation.

Staff has identified a number of issues with the plat, but none that Staff feels would preclude it from this agenda. One issue that could possibly impact the location of houses on the property is a TVA easement that is in the area. Staff has asked the applicant's design engineer to determine if these lots will be impacted by this easement. There is an existing fire hydrant just outside of the 1,000-foot requirement. Staff has requested that the applicant contact CUD to determine if another hydrant can be

supported in this location. They have also requested a waiver to the fire hydrant provision in the event the water line cannot support one.

Staff will have additional comments at the meeting.

ZONING: RM = Residential Medium-Density
 FRONT SETBACK: 40'
 SIDE SETBACK: 10'
 REAR SETBACK: 20'



TYPICAL BUILDING SETBACK DETAIL



LOCATION MAP
N.T.S.

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.

Date: Stephen D. Nutt

Record Book 1008, Page 2233

Angella Suzanne Helton-Nutt

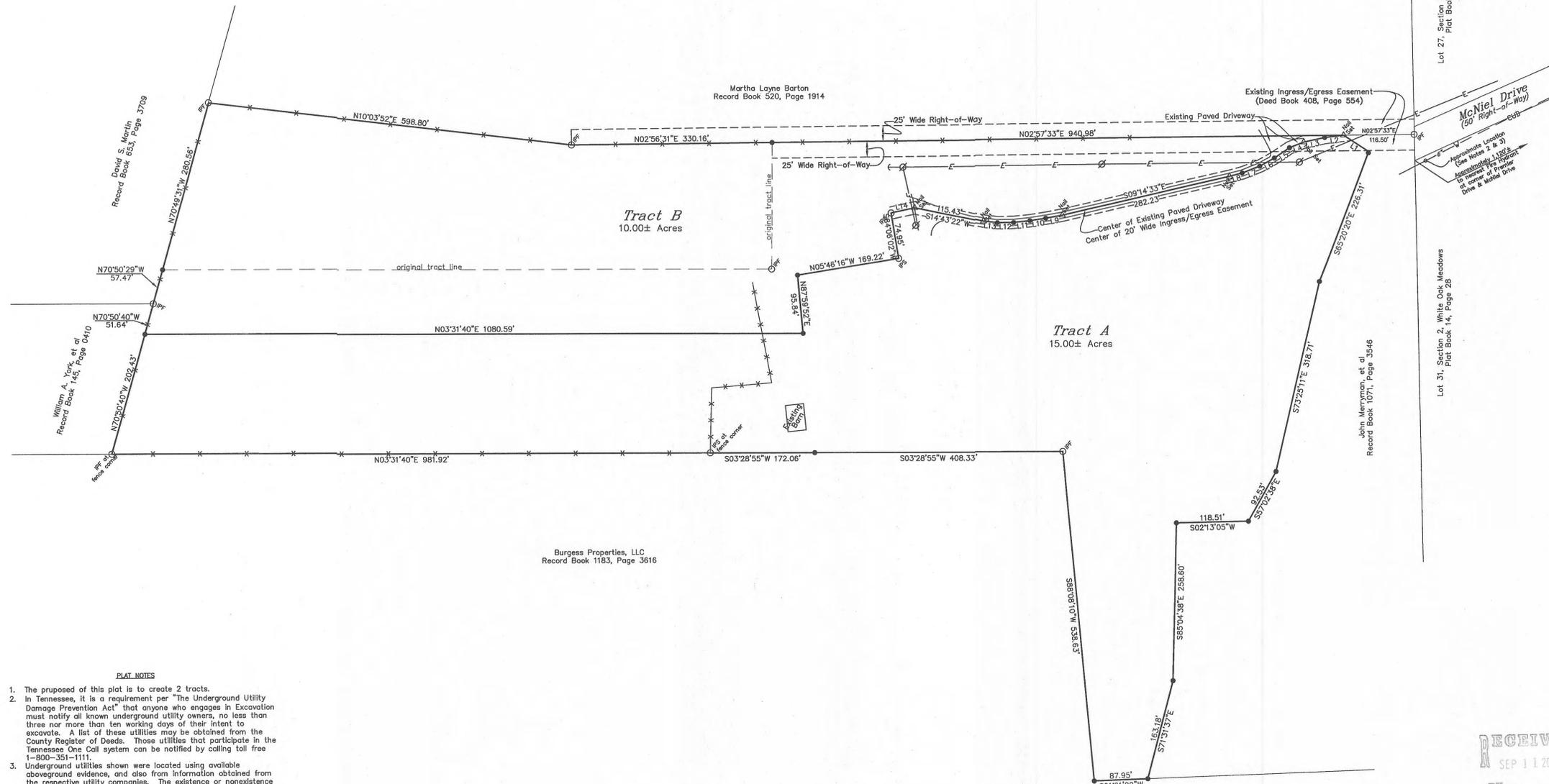
CERTIFICATE OF ACCURACY
 I hereby certify that the plan shown and described hereon is true and correct survey to the accuracy required by the Rutherford County, Tennessee, Planning Commission and that the monuments have been placed as shown hereon to the specifications of the County Engineer.

9-10-2015

Date: Richard H. Stern, Jr., Tenn. RLS No. 1637

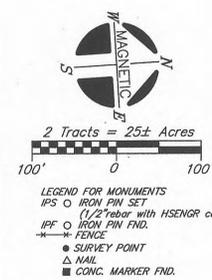
CERTIFICATE OF APPROVAL FOR RECORDING
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for Rutherford County, Tennessee with the exception of such variances, if any, as are noted in the minutes of the planning commission and that it has been approved for recording in the office of the County Registrar.

Date: SECRETARY, PLANNING COMMISSION



- PLAT NOTES
- The proposed of this plat is to create 2 tracts.
 - In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
 - Underground utilities shown were located using available aboveground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
 - It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
 - Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
 - Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
 - All surrounding parcels are Zoned RM per the Rutherford County Regional Planning Commission (R.C.R.P.C.).
 - Portions of this survey were performed using the following global positioning system (GPS) survey equipment: TOPCON Hiper Plus-Model #01-840-01 (Dual frequency).
 - The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods.
 - Boundary information taken from "Property Survey for Jack Heffington" by Robert E. Francis, Jr., RLS No. 669, Dated October, 21, 1988, and is not being recertified at this time.

LINE	BEARING	LENGTH
L1	N35°57'20"E	48.73
L2	S03°14'58"E	31.38
L3	S08°39'42"E	35.13
L4	S17°27'10"E	25.14
L5	S29°30'53"E	29.86
L6	S24°24'44"E	27.25
L7	S17°27'39"E	31.00
L8	S10°44'58"E	21.74
L9	S06°28'12"E	27.69
L10	S05°20'28"E	26.41
L11	S02°41'11"E	26.84
L12	S02°48'40"W	26.88
L13	S10°05'59"W	22.99
L14	S08°31'42"E	39.49



OWNER: Stephen D. Nutt, et ux
 Angella Suzanne Helton-Nutt
 ADDRESS: 417 McNeil Drive
 Murfreesboro, TN 37128
 Tax Map 99, Parcel 24.04
 Record Book 1008, Page 2233

THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 470165, PANEL NO. 02354, ZONE: X, DATED: 01-05-07.

RECEIVED
 SEP 11 2015
 BY:

I hereby certify that this is a category "I" survey and the ratio of precision of the unadjusted survey is 1:10,000 as shown hereon and that this survey was done in compliance with current Tennessee Minimum Standards of Practice for Land Surveyors.

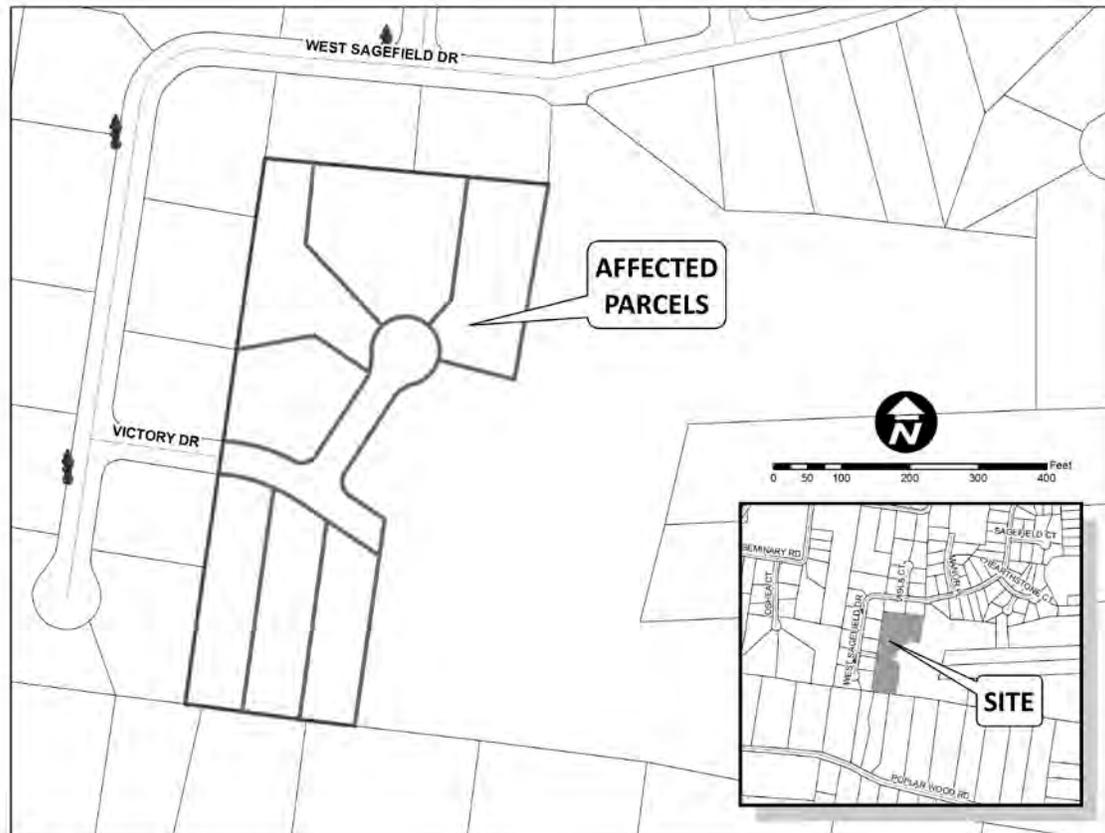
RICHARD H. STERN, JR.
 TNS 1637
 AGRICULTURE
 TENNESSEE NO. 1637
HUDDLESTON-STEELE ENGINEERING INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 SURVEYING : 893 - 4084, FAX: 893 - 0080

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK: _____, PAGE: _____

Property Survey
Stephen D. Nutt
 417 McNeil Drive, Murfreesboro, TN
 7th Civil District of Rutherford County, Tennessee
 Date: May, 2015 Scale: 1"=100' Sheet 1 of 1

Rutherford County Regional Planning Commission September 28, 2015 Staff Comments

Plat/Plan Name: Poplar Cove, Section III (15-2070)
Request: Final Plat Approval
Site Details: 7 lots on 5.57 acres, zoned RM
Applicant: Harmony Homes of Tennessee
Property Location: West Sagefield Drive



The subject property is located on the east side of West Sagefield Drive. The preliminary plan for this development was approved by the Planning Commission at their July 27, 2015 meeting. This final plat appears to be consistent with the preliminary approval.

There were some items identified at the Planning Commission's July 27, 2015 meeting that have not been addressed by the applicant. Those items have the potential to affect this final plat. There have also been no construction drawings received by Staff for this development. Finally, there are some off-site drainage improvements that will have to be completed before this final plat can be recorded.

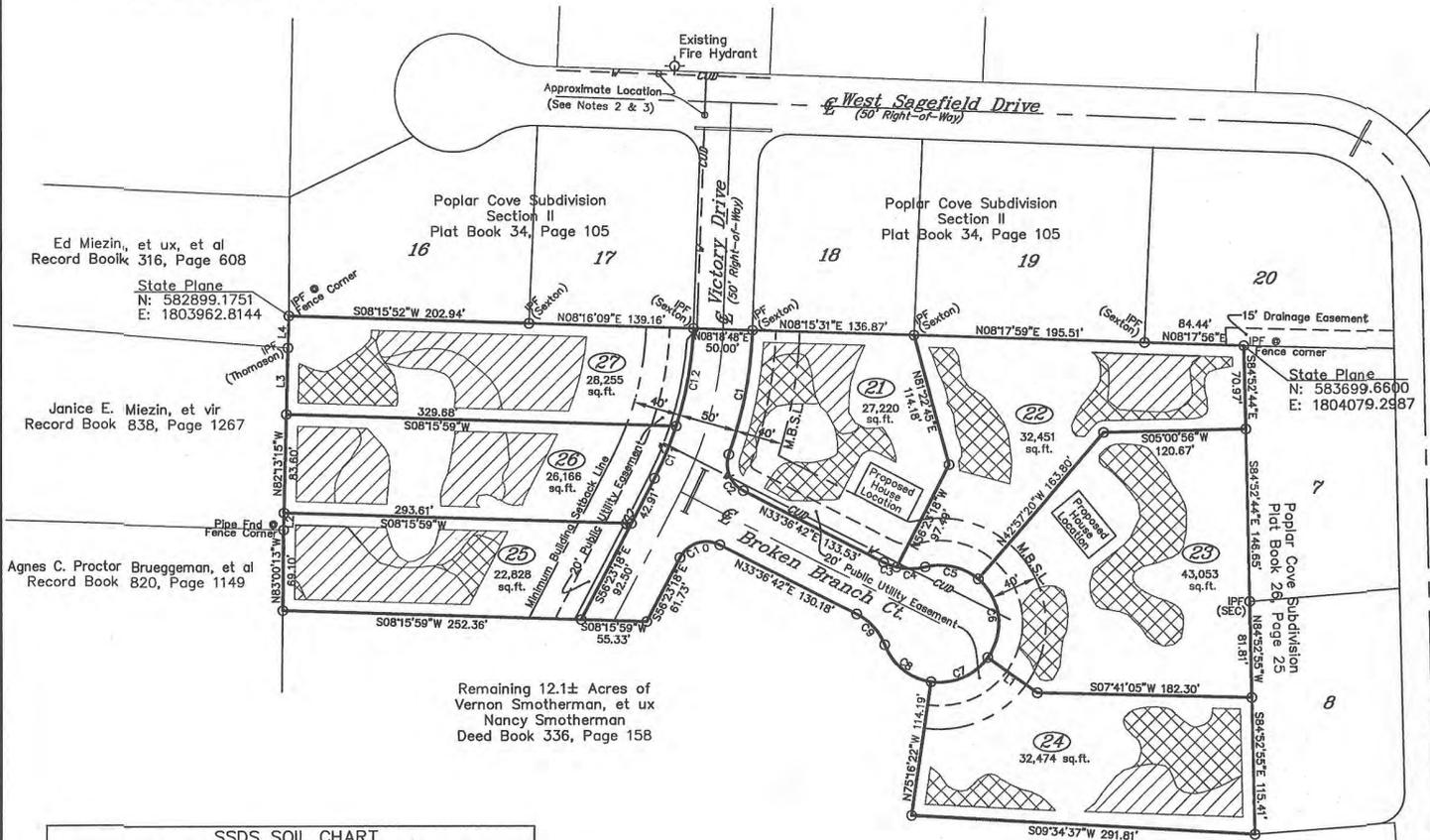
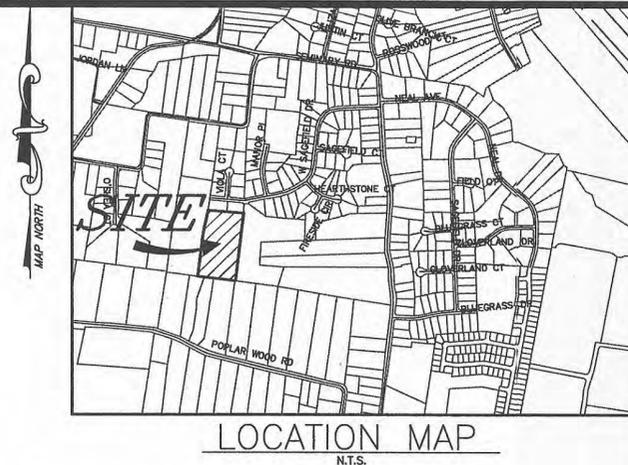
Staff will have additional comments at the meeting.

PLAT NOTES

- The purpose of this plat is to create 7 Single Family Residential Lots.
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available aboveground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be Present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
- The soil types and locations shown on lot 1 hereon are taken from the soils maps provided by Randy Dickerson, dated 06-18-15. The local health authority maintains a copy of the soils maps and has reviewed this final plat for conformance with same.
- Huddleston-Steele Engineering, Inc., assumes no responsibility for the accuracy or completeness of the soils information provided hereon.
- All surrounding parcels are zoned RM per the Rutherford County Regional Planning Commission (R.C.R.P.C.).
- The applicable zoning ordinance allows for an alternate setback of 1 1/2 times the required side yard setback (15') for one street frontage on corner Lots provided a rear setback is provided opposite the normal front setback on the other street frontage.
- Utilities shown are as planned and not necessarily installed.

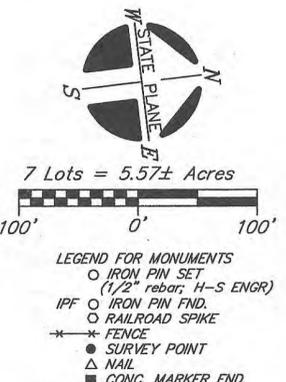
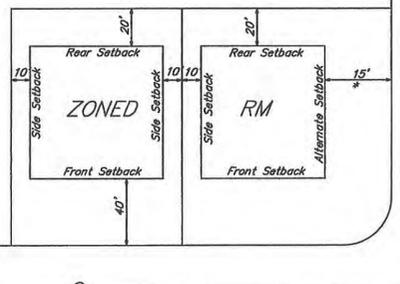
CURVE	DELTA	RADIUS	ARC	CHORD	BEARING
C1	17°40'35"	350.00	107.98	107.55	N72°53'19"W
C2	82°20'16"	25.00	35.93	32.91	N74°46'50"E
C3	13°23'26"	50.00	11.69	11.66	N26°54'59"E
C4	28°01'08"	50.00	24.45	24.21	N06°12'42"E
C5	54°50'33"	50.00	47.86	46.05	S19°37'24"W
C6	84°55'25"	50.00	74.11	67.51	S89°30'23"W
C7	62°45'33"	50.00	54.77	52.07	N16°39'09"W
C8	60°17'39"	50.00	52.62	50.22	N44°52'27"E
C9	41°24'35"	50.00	36.14	35.36	S54°18'59"W
C10	90°00'00"	25.00	39.27	35.36	S11°23'18"E
C11	9°09'53"	300.00	47.99	47.93	N60°58'14"W
C12	16°10'50"	300.00	84.72	84.44	N73°38'36"W

LINE	BEARING	LENGTH
L1	S41°58'05"W	51.72
L2	S82°13'15"E	14.52
L3	N82°13'15"W	56.40
L4	S81°51'02"E	27.20



Lot No.	Sq. Ft. of <60mpsi soil	Sq. Ft. of 75mpsi soil	Total Soil Area
21	2,749	5,847	8,296
22	3,371	6,143	9,514
23	-	9,901	9,901
24	3,657	7,124	10,781
25	8,094	1,378	9,472
26	9,374	-	9,374
27	8,745	3,102	11,847

ZONING: RM = Residential Medium-Density
 FRONT SETBACK: 40'
 SIDE SETBACK: 10'
 REAR SETBACK: 20'
 *Alternate Corner Setback = See Note 9



DEVELOPER: Harmony Homes of Tennessee
 C/O Tyler Thomason
 ADDRESS: 1480 Kensington Square Cir.
 Murfreesboro, TN 37130

OWNER: Vernon Smotherman, et ux
 Nancy Smotherman
 ADDRESS: 731 West Sagefield Ct.
 Smyrna, TN 37167

Tax Map 50, Part of Parcel 66.02
 Part of Deed Book 336, Page 158

THIS PROPERTY IS NOT INCLUDED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 47149C01164, ZONE: X, DATED: 10/16/08

CERTIFICATE OF APPROVAL WATER SYSTEMS
 I hereby certify that the subdivision plat entitled "Section III - Poplar Cove Subdivision" has been approved by the engineers for Consolidated Utility District of Rutherford County for water service, provided, however, that the lines, valves, and fittings must be installed in accordance with C.U.D. specifications as determined by its engineers. No water service will be provided until that certification has been made in writing.

Date _____ CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

CERTIFICATION OF GENERAL APPROVAL FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS WITH RESTRICTIONS

General approval is hereby granted for lot proposed hereon as being suitable for subsurface sewage disposal with the listed and/or attached restrictions. Before the initiation of construction, the location of the house or other structure(s) and plans for the subsurface sewage disposal system shall be approved by the local health authority.

Date _____ TN Dept. of Environment & Conservation Division of Ground Water Protection

TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION:
 1. Any cutting or filling after 06-18-15 may render lots unsuitable for subsurface sewage disposal.

2. All shaded areas are to be reserved for subsurface sewage disposal systems. Keep all houses, utilities, & drives outside shaded areas.

75 MPI ≤60 MPI

3. All Lots are approved for up to a ___ bedroom residence.

RECEIVED
 SEP 10 2015
 BY: _____

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.

Date _____ Deed Book 336, Page 158

CERTIFICATE OF ACCURACY
 I hereby certify that the plan shown and described hereon is true and correct survey to the accuracy required by the Rutherford County, Tennessee, Planning Commission and that the monuments have been placed as shown hereon to the specifications of the County Engineer.

9-10-2015 Richard H. Stern, Jr.
 Date Richard H. Stern, Jr., Tenn. R.L.S. No. 1637

CERTIFICATE OF APPROVAL FOR RECORDING
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for Rutherford County, Tennessee with the exception of such variances, if any, as are noted in the minutes of the planning commission and that it has been approved for recording in the office of the County Registrar.

Date _____ SECRETARY, PLANNING COMMISSION

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER
 Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MTEMC, and in accordance with the plat approval checklist, tree planting guidelines and other regulations contained on the MTEMC website at www.mtemc.com (collectively the "Requirements"). No electric service will be provided until MTEMC's Requirements have been met and approved in writing by an authorized representative of MTEMC. Any approval is, at all times, contingent upon continuing compliance with MTEMC's requirements.

Date _____ MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

I hereby certify that this is a Category "1" survey and the ratio of precision of the unadjusted survey is 1:10,000 as shown hereon and that this survey was done in compliance with current Tennessee Minimum Standards of Practice for Land Surveyors.



DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK: _____, PAGE: _____

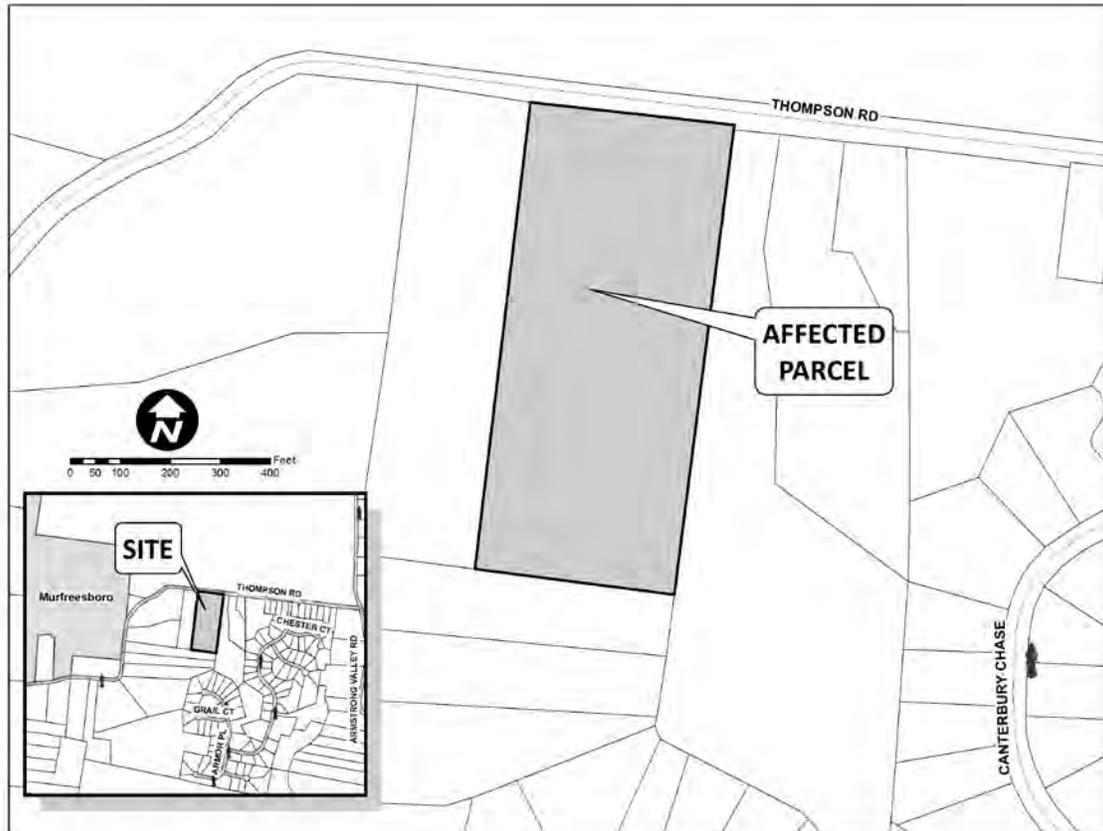
FINAL PLAT
 SECTION III
 POPLAR COVE
 SUBDIVISION
 4th Civil District of Rutherford County, Tennessee

Date: May, 2015 Scale: 1"=100' Sheet 1 of 1

15-2070

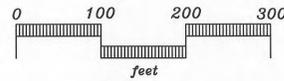
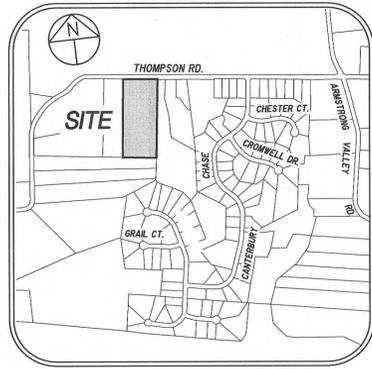
Rutherford County Regional Planning Commission September 28, 2015 Staff Comments

Plat/Plan Name: David Alexander Subdivision (15-2071)
Request: Final Plat Approval
Site Details: 2 lots on 9.03 acres, zoned RM
Applicant: David and Becky Alexander
Property Location: Thompson Road



The subject property is located on the south side of Thompson Road. The applicant is proposing to subdivide the existing property into two separate lots. The plat shows right-of-way dedication, which is why it is coming before the Planning Commission. There is a fire hydrant that is located within 1,000 feet as the crow flies, but not as the truck drives. Staff has asked the applicant to determine if another hydrant is located in the area that meets the County's regulations. A fire hydrant waiver may have to be approved as part of this request if there is not a hydrant within 1,000 feet and the existing water lines cannot support one.

Staff will have additional comments at the meeting.



GENERAL NOTES

1. THE PURPOSE OF THIS FINAL PLAT IS TO CREATE TWO LOTS FROM A 9.03 ACRE PARCEL.
2. BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO CONTROL MONUMENT UG802-477, (NAD 83-96).
3. THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, PER FEMA FIRM MAP NO. 4749C0265H, EFFECTIVE DATE JANUARY 5, 2007.
4. PARCELS MAY BE SUBJECT TO ADDITIONAL EASEMENTS AND/OR RESTRICTIONS, BY RECORD OR PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
5. IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE HOUSE, FROM HIS STRUCTURE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
6. THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
7. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENuded AREAS WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN 15 DAYS TO THE DENuded AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 60 DAYS.
8. PROPERTIES ADJACENT TO THE SITE OF LAND SHALL BE PROTECTED FROM SEDIMENT DEPOSITION. THIS MAY BE ACCOMPLISHED BY PRESERVING A WELL-VEGETATED BUFFER STOP AROUND THE LOWER PERIMETER OF THE LAND DISTURBANCE; BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENT BARRIERS, FILTERS OR DIKES, OR SEDIMENT BASINS; OR BY A COMBINATION OF SUCH MEASURES.
9. NO FILL MATERIAL, RUBBISH, OR BUILDING MAY BE PLACED IN ANY NATURAL DRAINAGE WAY, SUCH AS STREAM BEDS, SINKHOLES, UNDERGROUND STREAMS OR CHANNELS, OR WET WEATHER STREAM BEDS OR FLOODWAYS.
10. PUBLIC UTILITY EASEMENTS, IF AND WHERE SHOWN HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITIES AND DRAINAGE WAYS, INCLUDING BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.
11. IN TENNESSEE IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
12. PROPERTY IS CURRENTLY ZONED RM.
13. ALL PROPERTY ADJACENT TO THIS SUBDIVISION IS CURRENTLY ZONED RM.
14. MINIMUM SETBACKS FOR LOTS AS SHOWN HEREON UNLESS NOTED OTHERWISE: FRONT = 40 ft. / SIDE = 10 ft. / REAR = 20 ft.
15. WATER LINE IS SHOWN FOR GRAPHICAL PURPOSES ONLY. PLEASE CONTACT CONSOLIDATED UTILITY DISTRICT (C.U.D.) FOR WATER LINE LOCATION, SIZE, AND PLACEMENT OF FIRE HYDRANTS.
16. ALL FIRE HYDRANTS SHALL BE PLACED IN COORDINATION WITH CONSOLIDATED UTILITY DISTRICT.

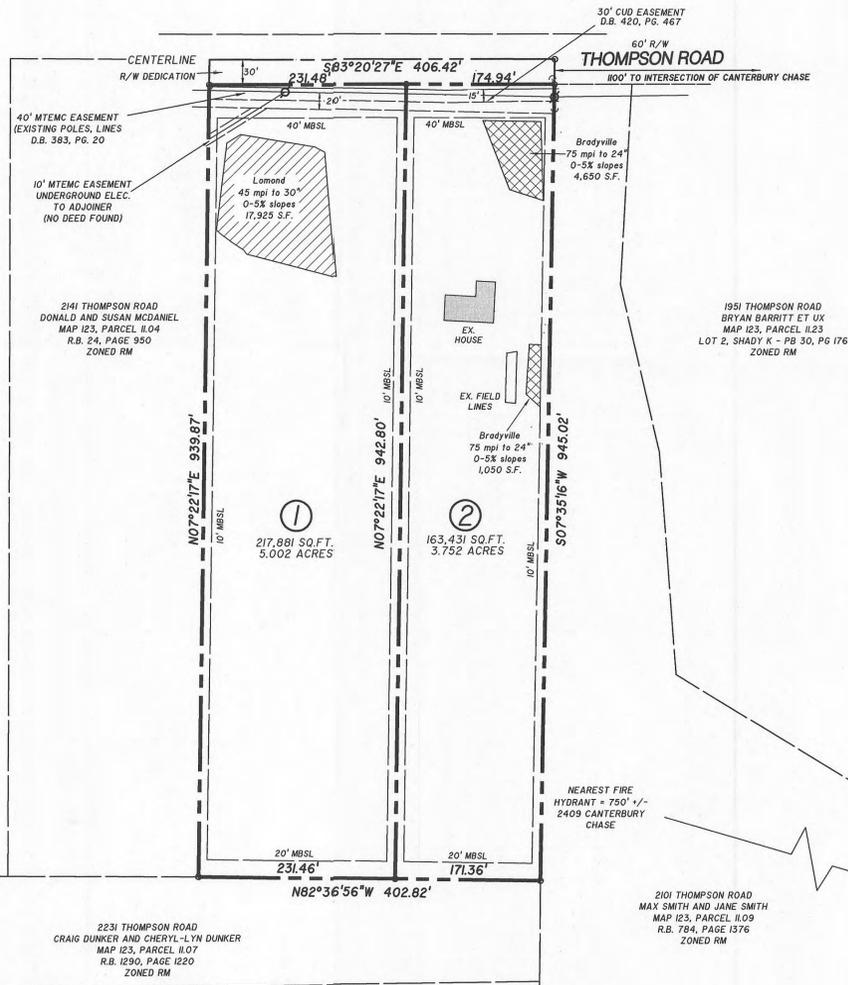
SOILS LEGEND

- 30/45/60 MPI
SOILS ARE SUITABLE FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS.
- 75 MPI
SOILS ARE MARGINALLY SUITABLE FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS.

LEGEND

- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- CONC. MONUMENT (FOUND)
- WATER LINE w/FIRE HYD.

TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION NOTES:
 1. ALL LOTS ARE APPROVED FOR _____ BEDROOMS USING CONVENTIONAL SYSTEMS ONLY. LOTS CAN BE REVIEWED ON A LOT BY LOT BASIS.
 2. SHADED AREAS ARE RESERVED FOR SUBSURFACE SEWAGE DISPOSAL ONLY. KEEP ALL BUILDINGS, DRIVEWAYS AND UNDERGROUND UTILITIES OUTSIDE THE SHADED SOILS AREAS. ANY ENCROACHMENT OF THESE AREAS MAY VOID LOT APPROVAL.



CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.
 DATE _____ DAVID ALEXANDER
 DEED BOOK 369, PG. 639
 DATE _____ BECKY ALEXANDER
 DEED BOOK 369, PG. 639
CERTIFICATE OF ACCURACY
 I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE RUTHERFORD COUNTY, TENNESSEE, PLANNING COMMISSION, THAT THE PRECISION OF THE UNADJUSTED SURVEY IS 1/10,000 OR GREATER, AND THAT MONUMENTS HAVE BEEN/WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE COUNTY ROAD COMMISSIONER OR COUNTY ENGINEER.
 SEC. INC. _____
 DATE 9-11-15 _____ REGISTERED SURVEYOR
 TENN. R.L.S. # 1805 _____

CERTIFICATE FOR APPROVAL OF WATER SYSTEMS
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT ENTITLED "DAVID ALEXANDER SUBDIVISION, HAS BEEN APPROVED BY THE ENGINEERS OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY FOR WATER SERVICE, PROVIDED HOWEVER, THAT THE LINES, VALVES, AND FITTINGS MUST BE INSTALLED IN ACCORDANCE WITH C.U.D. SPECIFICATIONS AS DETERMINED BY ITS ENGINEERS. NO WATER SERVICE WILL BE PROVIDED UNTIL THAT CERTIFICATION HAS BEEN MADE IN WRITING.
 DATE _____
 CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

CERTIFICATE FOR APPROVAL OF ELECTRIC POWER
 MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEMC AS DEFINED IN THE RULES AND REGULATIONS, BY LAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEB SITE AT WWW.MTEMC.COM (COLLECTIVELY THE "REQUIREMENTS"), NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEMC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.
 DATE _____
 AUTHORIZED MTEMC OFFICIAL

CERTIFICATION OF GENERAL APPROVAL FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS WITH RESTRICTIONS
 GENERAL APPROVAL IS HEREBY GRANTED FOR LOTS PROPOSED HEREON AS BEING SUITABLE FOR SUBSURFACE SEWAGE DISPOSAL WITH THE LISTED AND/OR ATTACHED RESTRICTION. BEFORE THE INITIATION OF CONSTRUCTION, THE LOCATION OF THE HOUSE OR OTHER STRUCTURES AND PLANS FOR THE SUBSURFACE SEWAGE DISPOSAL SHALL BE APPROVED BY THE LOCAL HEALTH AUTHORITY.
 DATE _____
 T.D.E.C./D.W.R.

CERTIFICATE OF APPROVAL FOR RECORDING
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RUTHERFORD COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER.
 DATE _____
 SECRETARY, PLANNING COMMISSION



BY: _____

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK _____, PAGE _____

FINAL PLAT

DAVID ALEXANDER
 SUBDIVISION

12th CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE

SEC, Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
 PHONE (615) 890-7901 • FAX (615) 895-2567

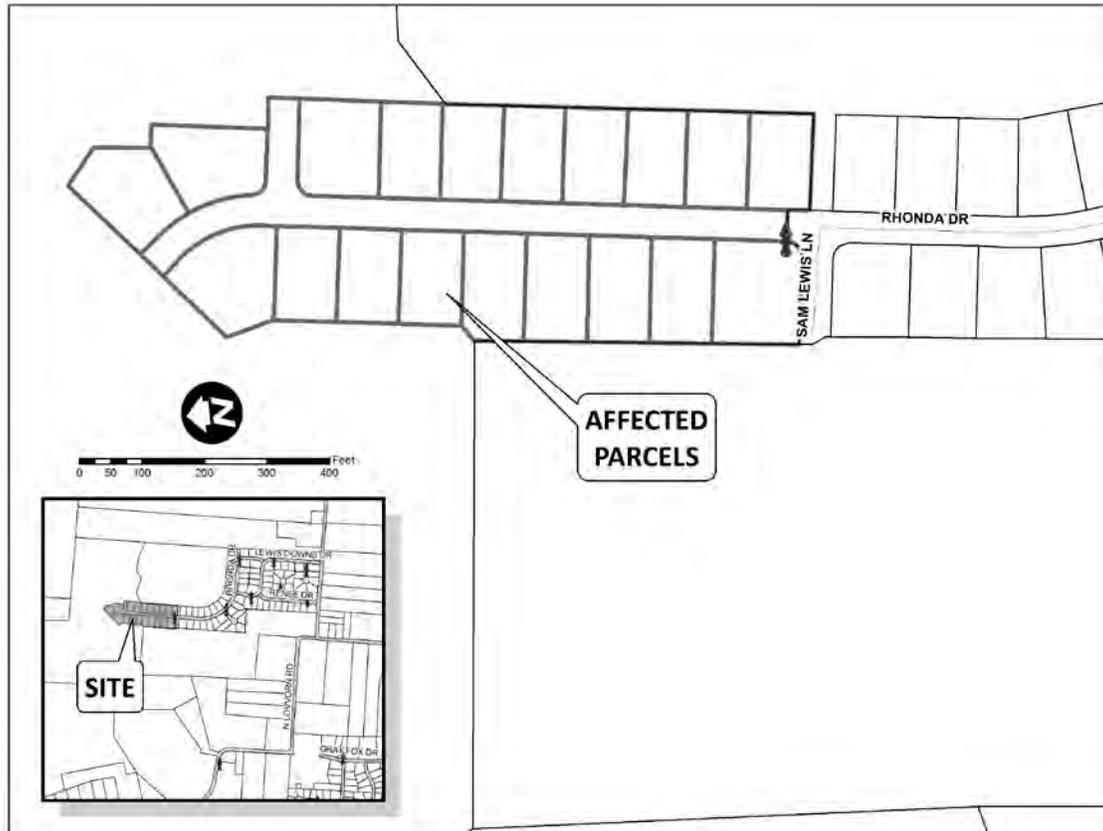
OWNERS:
 CONTACT: DAVID AND BECKY ALEXANDER
 ADDRESS: 219 THOMPSON ROAD
 MURFREESBORO, TN 37128
 MAP 123, PARCEL 11.05
 D.B.K. 369, PG. 639

SITE DATA:
 TOTAL AREA = 9.03 ACRES
 AREA IN RIGHT-OF-WAY = 0.278 ACRES
 AREA IN COMMON AREA = 0 ACRES
 NO. OF LOTS = 2
 ZONING = RM

PROJ. # 15202.01	DATE: 9-02-2105	FILE: Thompson219MinorPlat	DRAWN BY: ACAD/TGR	SCALE: 1" = 100'	SHEET 1 OF 1
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Rutherford County Regional Planning Commission September 28, 2015 Staff Comments

Plat/Plan Name: Lewis Downs, Section II (15-2072)
Request: Final Plat Approval
Site Details: 19 lots on 8.81 acres, zoned RM
Applicant: Stewart Springs, LLC
Property Location: Rhonda Drive (North of Rock Springs Midland Road)



The subject property is located along Rhonda Drive. The preliminary plan for this development was approved at the October 27, 2014 meeting of the Planning Commission. This final plat appears to be consistent with the preliminary plan approval.

The applicant needs to demonstrate that adequate fire protection is available for this development. There is an existing fire hydrant at the intersection of Rhonda Drive and Sam Lewis Lane that needs to be shown on the plat. Besides this issue, the plat appears to be in good order.

Any approval should be made subject to all Staff Comments.

GENERAL NOTES

- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 19 SINGLE FAMILY LOTS.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO RUTHERFORD COUNTY CONTROL MONUMENT RCC-057, (NAD 83-96).
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, PER FEMA FIRM MAP NO. 4749C0283 H, EFFECTIVE DATE JANUARY 8, 2007.
- PARCELS MAY BE SUBJECT TO ADDITIONAL EASEMENTS AND/OR RESTRICTIONS, BY RECORD OR PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
- IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE HOUSE, FROM HIS STRUCTURE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN 15 DAYS TO THE DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 60 DAYS.
- PROPERTIES ADJACENT TO THE SITE OF LAND SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, THIS MAY BE ACCOMPLISHED BY PRESERVING A WELL-VEGETATED BUFFER STRIP AROUND THE LOWER PERIMETER OF THE LAND DISTURBANCES BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENT BARRIERS, FILTERS OR DINES, OR SEDIMENT BASINS; OR BY A COMBINATION OF SUCH MEASURES.
- NO FILL MATERIAL, RUBBISH, OR BUILDINGS MAY BE PLACED IN ANY NATURAL DRAINAGE WAY, SUCH AS STREAM BEDS, SWALES, UNDERGROUND STREAMS OR CHANNELS, OR WET WEATHER STREAM BEDS OR FLOODWAYS.
- PUBLIC UTILITY EASEMENTS, IF AND WHERE SHOWN HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITIES AND DRAINAGE WAYS, INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.
- IN TENNESSEE IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-3111.
- PROPERTY IS CURRENTLY ZONED RM. ALL PROPERTY ADJACENT TO THIS SUBDIVISION IS CURRENTLY ZONED RM.
- MINIMUM SETBACKS FOR LOTS AS SHOWN HEREON UNLESS NOTED OTHERWISE: FRONT = 40 FT., SIDE = 10 FT., REAR = 20 FT. SIDE ON A CORNER LOT = 15 FT., DETERMINED BY HOUSE ORIENTATION.
- A SIGN NOTIFYING THE PUBLIC THAT THIS SUBDIVISION IS SERVICED BY A DECENTRALIZED SEWER SYSTEM SHALL BE PLACED AND MAINTAINED BY THE DEVELOPER UNTIL ALL HOMES ARE BUILT AND OCCUPIED.
- C.U.D. ACCESS TO THE SEPTIC TANK SHALL BE UNENCUMBERED BY FENCING OR LANDSCAPING. A PERMANENT ACCESS EASEMENT EXISTS ON EACH LOT AT THE SEPTIC TANK LOCATION. THIS EASEMENT IS INTENDED TO ASSURE SERVICE AND REPAIR ACCESS TO THE SEPTIC TANK. SEE SEPTIC TANK EASEMENT DETAIL.
- SEPTIC TANKS SHALL BE SET ONLY AFTER THE BUILDING FOUNDATION HAS BEEN STARTED AND FINISHED YARD GRADE AT THE TANK CAN BE DETERMINED. TANK RISERS SHALL BE BETWEEN 18" AND 24" INCHES HIGH FROM THE TOP OF THE TANK.
- WATER LINE IS SHOWN FOR GRAPHICAL PURPOSES ONLY. PLEASE CONTACT CONSOLIDATED UTILITY DISTRICT (C.U.D.) FOR WATER LINE LOCATION, SIZE, AND PLACEMENT OF FIRE HYDRANTS.
- ALL FIRE HYDRANTS SHALL BE PLACED IN COORDINATION WITH CONSOLIDATED UTILITY DISTRICT.

LOT AREAS

LOT	SQ. FT.	ACRES
92	15,500	0.356
93	15,190	0.349
94	15,190	0.349
95	15,190	0.349
96	15,190	0.349
97	15,190	0.349
98	15,190	0.349
99	22,008	0.509
100	19,718	0.453
101	19,360	0.444
102	21,736	0.499
103	15,000	0.344
104	15,000	0.344
105	15,000	0.344
106	17,122	0.393
107	17,193	0.395
108	17,006	0.390
109	16,818	0.386
110	23,092	0.530

LINE DATA

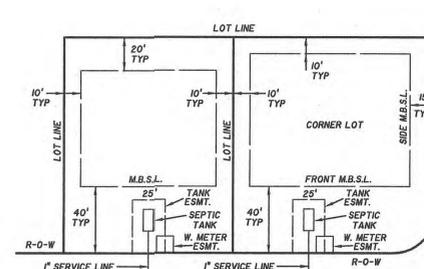
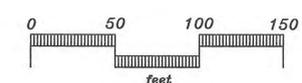
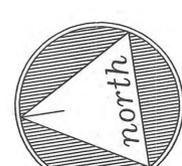
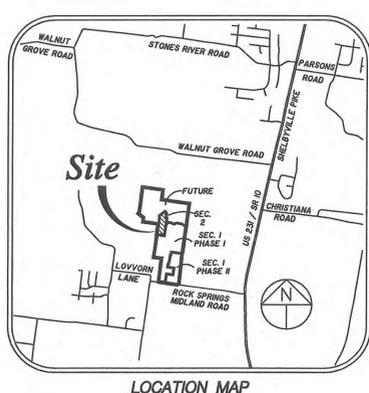
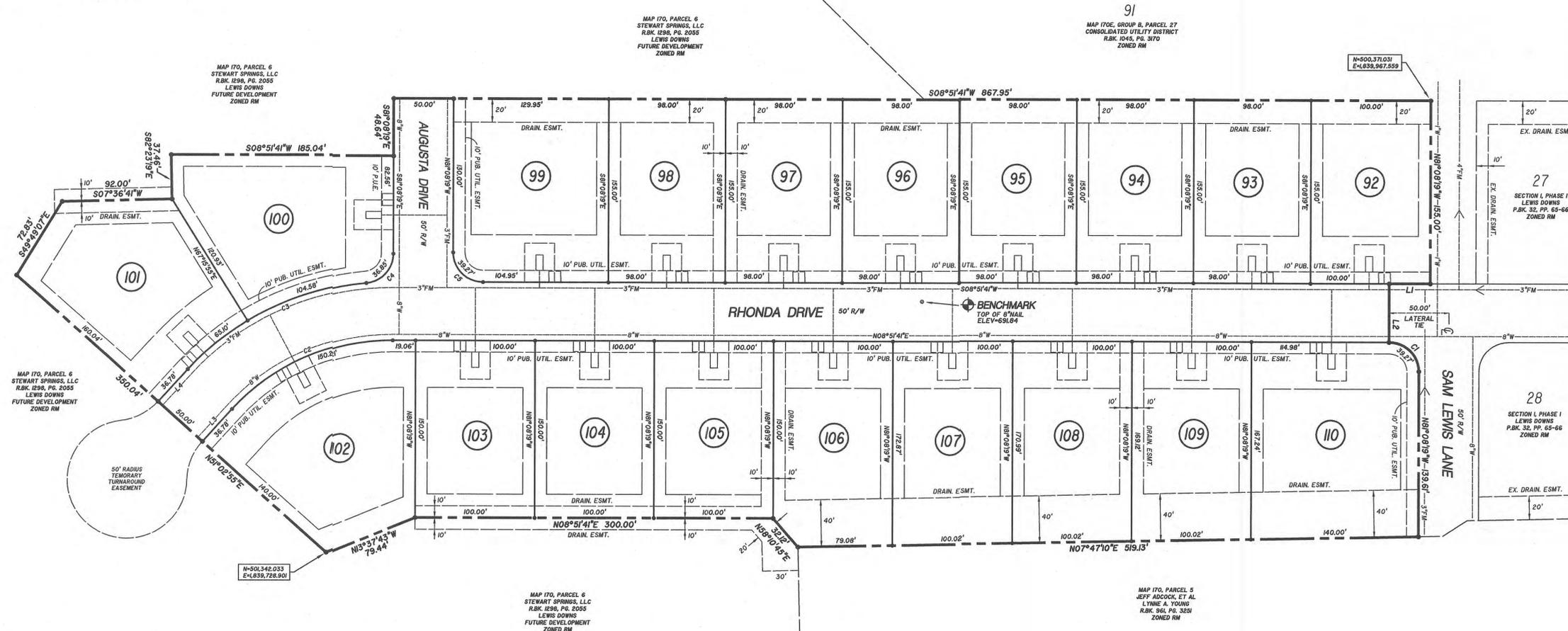
LINE	BEARING	DISTANCE
L1	N08°51'41"E	34.27'
L2	N81°08'19"W	50.00'
L3	N38°57'06"W	36.78'
L4	S38°57'06"E	36.78'

CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	90°00'00"	25.00'	39.27'	25.00'	35.36'	S53°51'41"W
C2	47°48'46"	180.00'	150.21'	79.79'	145.89'	N15°02'42"W
C3	44°16'07"	230.00'	169.68'	88.91'	165.86'	S17°49'01"E
C4	84°27'51"	25.00'	36.85'	22.69'	33.60'	S38°54'39"E
C5	90°00'00"	25.00'	39.27'	25.00'	35.36'	S53°51'41"W

LEGEND

- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- CONC. MONUMENT (FOUND)
- WATER LINE w/FIRE HYD.
- STEP SYSTEM FORCE MAIN



- SEPTIC TANK IS 6' X 13'.
- TANK EASEMENT SHALL EXTEND 10 FT. MINIMUM BEYOND PLACEMENT OF TANK IN FIELD.
- WATER METER TO BE 10' FROM SEPTIC TANK.

MINIMUM BUILDING SETBACKS & SEPTIC TANK EASEMENT DETAIL N.T.S.

OWNER:
STEWART SPRINGS, LLC
2390 VETERANS PARKWAY
MURFREESBORO, TENNESSEE 37128
MAP 170, P/O PARCEL 6
R.B.K. 1298, PG. 2055

SITE DATA:
TOTAL AREA = 8.811 ACRES
AREA IN RIGHT-OF-WAY = 1.380 ACRES
NO. OF LOTS = 19
MINIMUM LOT SIZE = 15,000 SQ.FT.
ZONING = RM

CERTIFICATE OF OWNERSHIP AND DEDICATION
I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.
DATE: _____
RECORD BOOK 1298, PAGE 2055
AUTHORIZED AGENT: STEWART SPRINGS, LLC
A TENNESSEE LIMITED LIABILITY COMPANY



CERTIFICATE OF ACCURACY
I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE RUTHERFORD COUNTY, TENNESSEE, PLANNING COMMISSION, THAT THE PRECISION OF THE UNADJUSTED SURVEY IS 1/10,000 OR GREATER, AND THAT MONUMENTS HAVE BEEN/ WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE COUNTY ROAD COMMISSIONER OR COUNTY ENGINEER.
SEC. INC. DATE: 9-10-15 David A. Parker REGISTERED SURVEYOR
TENN. R.L.S. No. 2381

CERTIFICATION OF APPROVAL OF WATER SYSTEMS
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT ENTITLED "LEWIS DOWNS, SECTION 2" HAS BEEN APPROVED BY THE ENGINEERS OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY FOR WATER SERVICE, PROVIDED HOWEVER, THAT THE LINES, VALVES, AND FITTINGS MUST BE INSTALLED IN ACCORDANCE WITH C.U.D. SPECIFICATIONS AS DETERMINED BY ITS ENGINEERS. NO WATER SERVICE WILL BE PROVIDED UNTIL THAT CERTIFICATION HAS BEEN MADE IN WRITING.
DATE: _____
CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

CERTIFICATION OF APPROVAL OF SEWER S.T.E.P. SYSTEM
I HEREBY CERTIFY THAT THIS PLAT ENTITLED "LEWIS DOWNS, SECTION 2" HAS BEEN RECEIVED BY CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY FOR REVIEW. CONNECTION TO THE EXISTING SEPTIC TANK EFFLUENT PUMP (S.T.E.P.) SYSTEM SHALL MEET CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY'S SPECIFICATIONS. CONSTRUCTION WILL NOT START UNTIL A NOTICE TO PROCEED IS GIVEN BY C.U.D.
DATE: _____
CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

CERTIFICATE OF APPROVAL FOR RECORDING
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RUTHERFORD COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER.
DATE: _____
SECRETARY, PLANNING COMMISSION

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER
MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEMC AS DEFINED IN THE RULES AND REGULATIONS, BY-LAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEB SITE AT WWW.MTEMC.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEMC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.
DATE: _____
AUTHORIZED MTEMC OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDING
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RUTHERFORD COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER.
DATE: _____
SECRETARY, PLANNING COMMISSION

CERTIFICATE OF APPROVAL FOR RECORDING
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RUTHERFORD COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER.
DATE: _____
SECRETARY, PLANNING COMMISSION

RECEIVED
SEP 11 2015
BY: _____

DATE OF RECORDING: _____
TIME OF RECORDING: _____
PLAT BOOK _____, PAGE _____

FINAL PLAT
SECTION 2
LEWIS DOWNS
SUBDIVISION

20th CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE

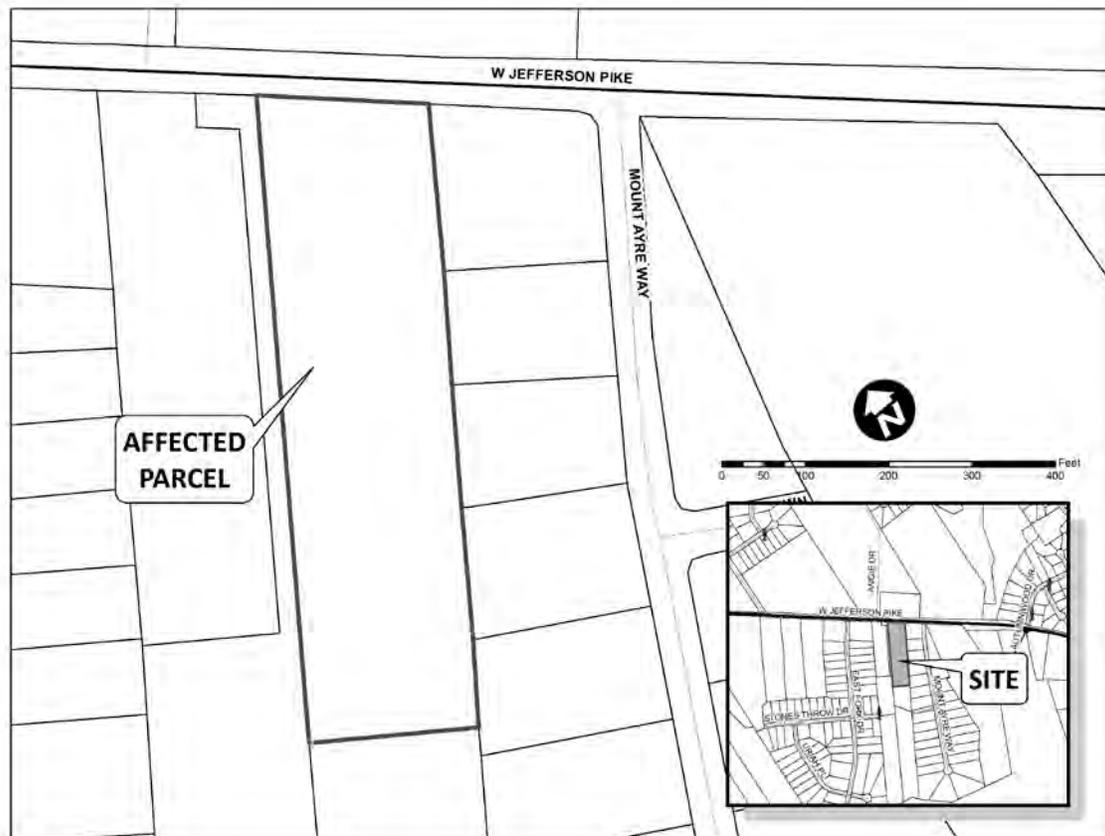
SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. # 06024	DATE: 9-10-15 REV.:	FILE: LOSPLAT	DRAWN BY: ACAD/JWG	SCALE: 1" = 50'	SHEET 1 OF 1
---------------	---------------------	---------------	--------------------	-----------------	--------------

15-2072

Rutherford County Regional Planning Commission September 28, 2015 Staff Comments

Plat/Plan Name: True Gospel (Revisions) (15-3011)
Request: Site Plan Approval
Site Details: New construction of 3,865 square feet of Small Community Assembly space (Religious Facility) on 3.62 acres, zoned RM
Applicant: True Gospel Missionary Baptist Church
Property Location: West Jefferson Pike

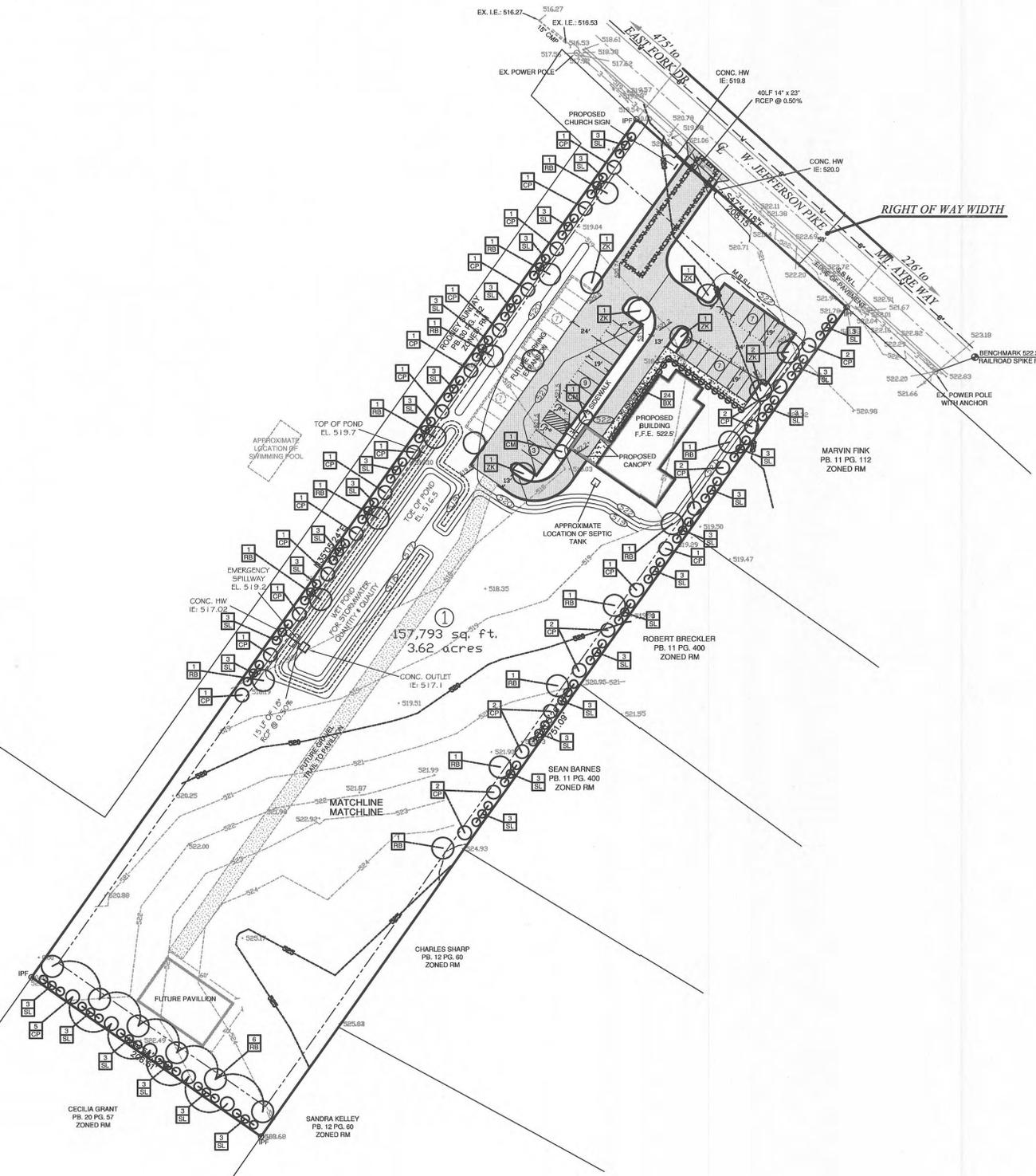


The subject property is located on the south side of West Jefferson Pike. The site plan was originally approved by the Planning Commission at their April 27, 2015 meeting. Since that time, the church has decided to move the building further back on the lot and to rearrange the parking on the property. These changes were more than what Staff could approve administratively, so the revised site plan is being brought back for Planning Commission consideration.

Staff has identified some drainage concerns that need to be addressed. There are also a number of other issues that need to be corrected on the plan. Staff expects that these issues will be addressed prior to the Planning Commission's meeting. Any approval should be made subject to all Staff Comments.

LEGEND

- ⊗ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- o.o Existing Spot Elevations
- o.o Proposed Spot Elevations
- Siltation Fence (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Siltation Fence (Initial Measure)
- Siltation Fence (Once Constructed)
- Turf Reinforcement Mat
- Stone Check Dam

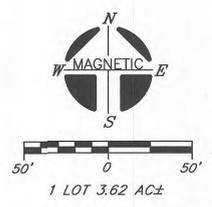
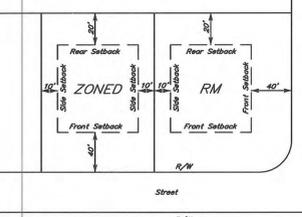


LOCATION MAP
N. T. S.

GENERAL NOTES:

1. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the county register of deeds. Those utilities that participate in the Tennessee One Call System can be notified by calling toll free 1-800-351-1111.
2. Underground utilities shown were located using available above-ground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
3. Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
4. Evidence of a land disturbance permit, which includes an erosion prevention & sediment control plan, and a State of Tennessee stormwater permit must be provided to the County's Environmental Engineer prior to construction progressing.
5. Water service provided by Consolidated Utility District (C.U.D.).

ZONING: RM
FRONT SETBACK: 40'
SIDE SETBACK: 10'
REAR SETBACK: 20'



DEVELOPER: TRUE GOSPEL MISSIONARY BAPTIST CHURCH
ADDRESS: PO BOX 11592
MURFREESBORO, TN 37129
TAX MAP: 25 PART OF PARCEL: 18.05
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.
A PORTION OF THIS PROPERTY IS INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD AREA" ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD MAP PANEL: 47149C0132H ZONE: X
DATED: JAN. 05, 2007

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.

#	DATE	REVISION DESCRIPTION
1	4-10-15	ORIGINAL ISSUE
2	9-8-15	REVISED SITE LAYOUT

REVIEW ONLY

MASTER PLAN

TRUE GOSPEL

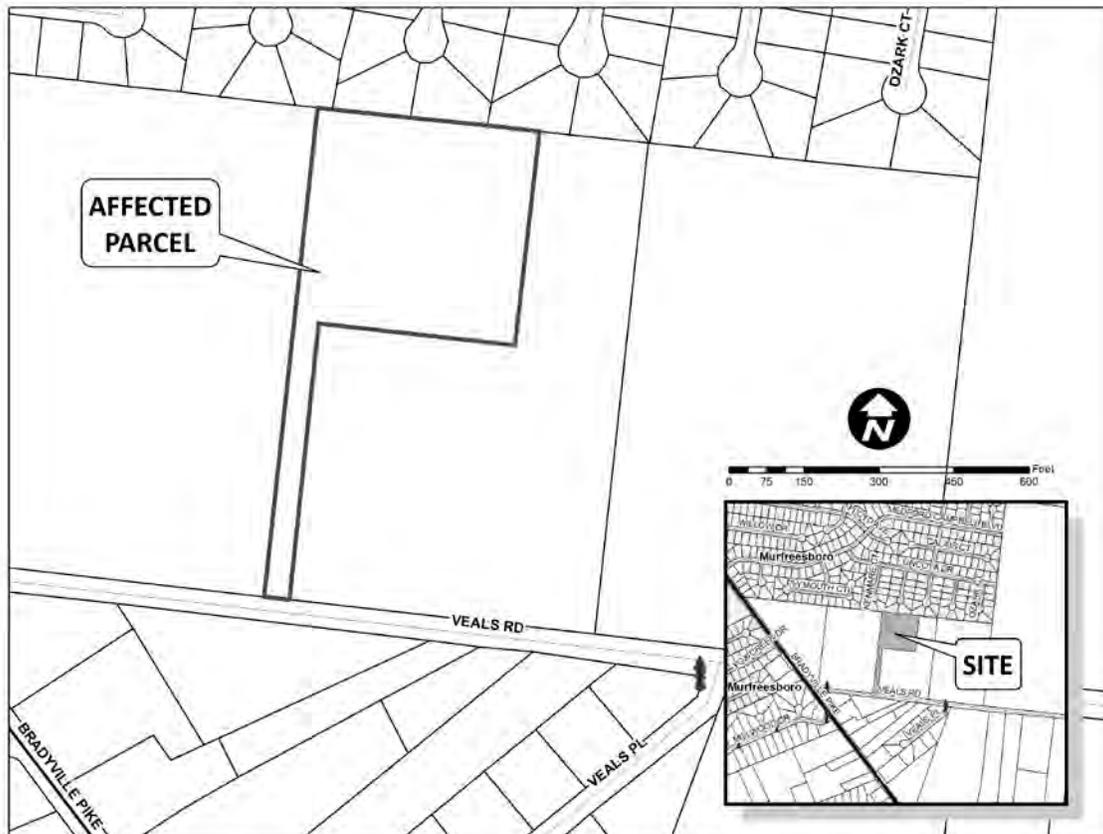
13TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DATE: APRIL, 2015 SCALE 1"=50' SH. 2 OF 5

HUDDLESTON-STEEL ENGINEERING
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE : (615)893 - 4084, FAX: (615)893 - 0080

Rutherford County Regional Planning Commission September 28, 2015 Staff Comments

Plat/Plan Name: American Tower – Veals Road (15-3023)
Request: Site Plan Approval
Site Details: New construction of a 195-foot communications tower with accessory structures (Equipment Shelter) on 5.01 acres, zoned RM
Applicant: Jacobs Engineering
Property Location: Veals Road

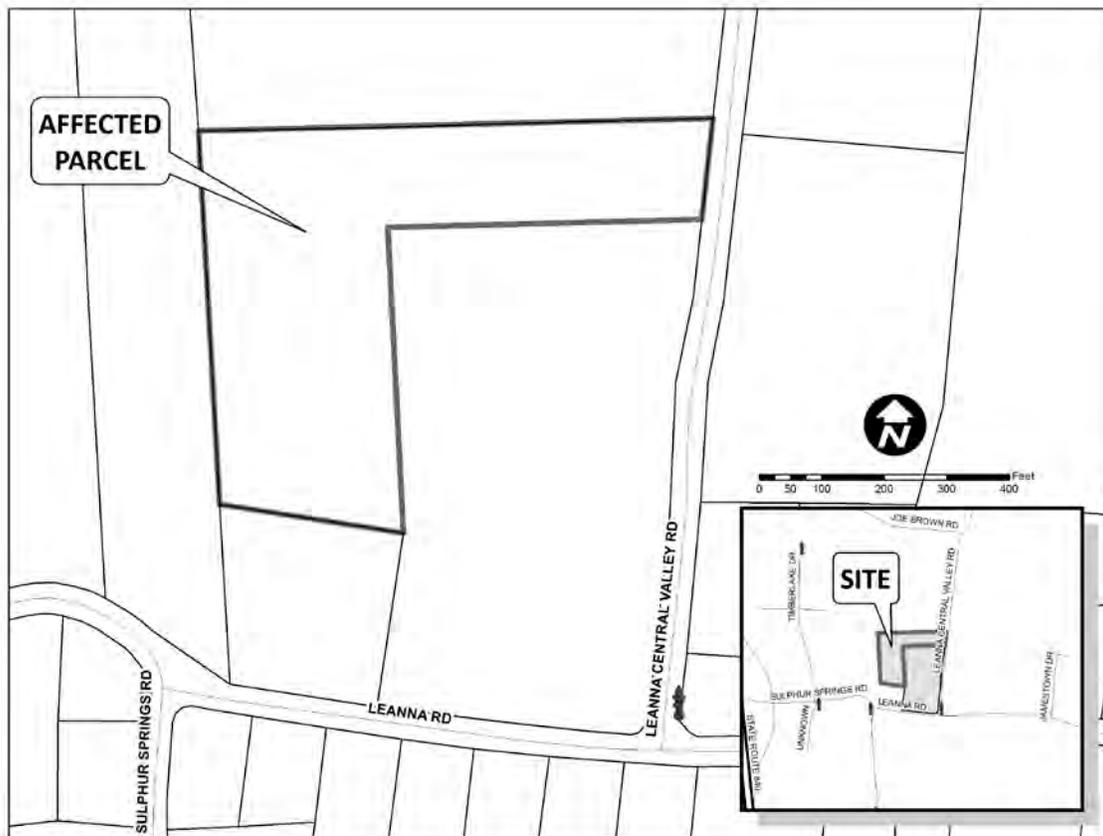


The subject property is located on the north side of Veals Road, just to the east of Bradyville Pike. The Board of Zoning Appeals approved a special exception for the communications tower at their August 12, 2015 meeting. The site plan is consistent with that approval. Besides some minor housekeeping issues, the site plan appears to be in good order.

Any approval should be made subject to all Staff Comments.

Rutherford County Regional Planning Commission September 28, 2015 Staff Comments

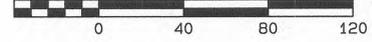
Plat/Plan Name: Central Valley Parking and Storage (15-3024)
Request: Site Plan Approval
Site Details: New construction of 40,500 square feet of General Personal Services space (Mini-storage) on 6 acres, zoned CS
Applicant: Patty Travis
Property Location: Leanna Central Valley Road



The subject property is located on the west side of Leanna Central Valley Road. The property was zoned to CS by the Board of Commissioners at their June 11, 2015 meeting. The mini-storage use was approved by the Board of Zoning Appeals at their July 8, 2015 meeting. The County's regulations call for a minimum 65-foot setback along all sides but the plan is only showing 60 feet. The applicant will also need to supply building elevations to ensure that the brick/masonry requirement is being met. The applicant has been in conversations with the Fire Chief about fire protection for this development. Staff feels that the issues identified should be remedied by the Planning Commission's meeting.

Any approval should be made subject to all Staff Comments.

GRAPHIC SCALE 1"=40'



175' TIA ESMT.

MAP 48, PARCEL 30.03
TERRY JONES
R.B. 26, PG. 2151
Zoned RM

N: 585448.74
E: 1840994.89

Ex. C.O.

IPF
H-5"

IPF
H-5"

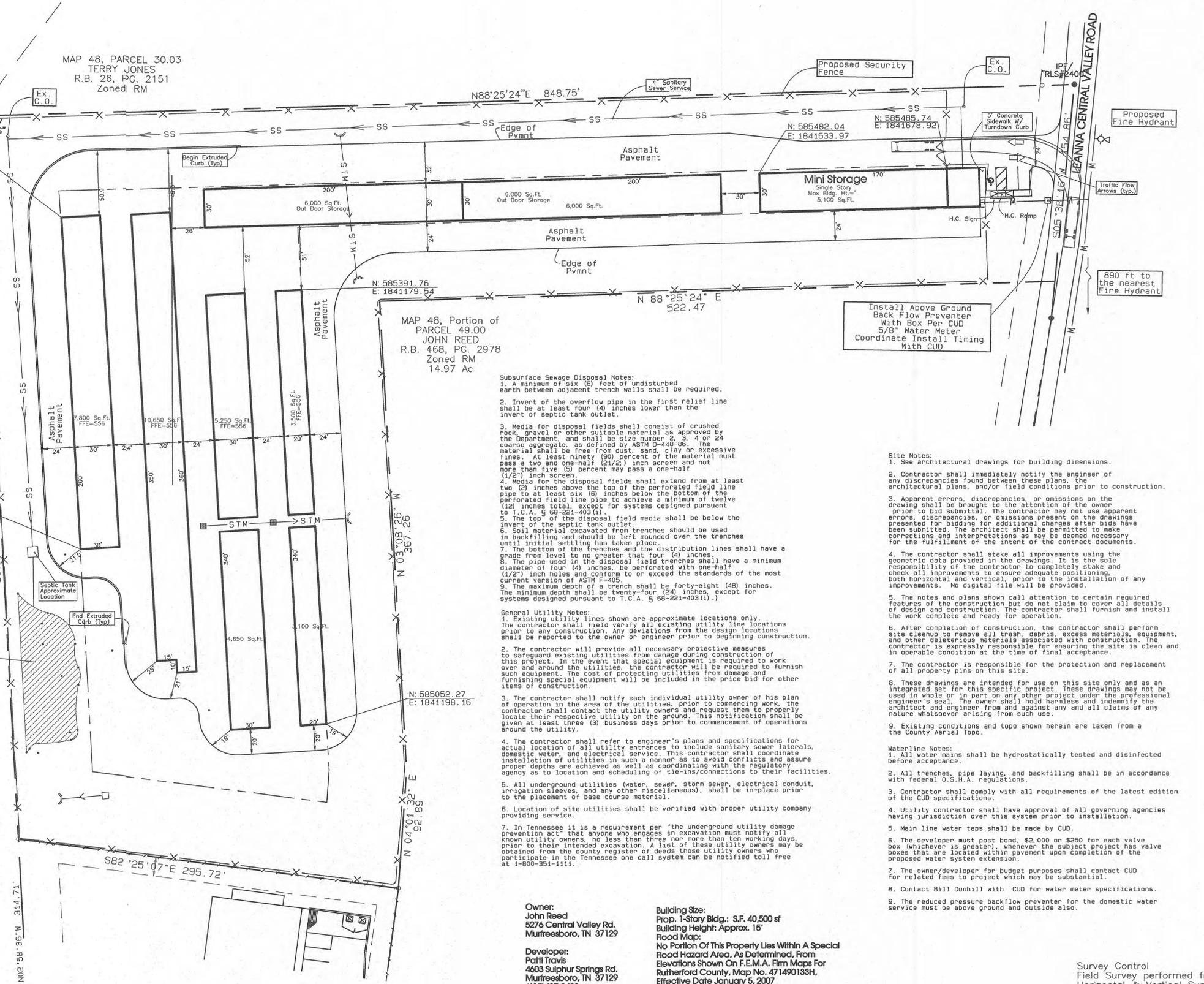
N: 585189.36
E: 1841009.13

IPF
H-5"

N: 585052.27
E: 1841198.16

N: 585052.27
E: 1841198.16

MAP 48, PARCEL 50.00
BOBBY BROWN
R.B. 43, PG. 327
Zoned RM



MAP 48, Portion of
PARCEL 49.00
JOHN REED
R.B. 468, PG. 2978
Zoned RM
14.97 Ac

- Subsurface Sewage Disposal Notes:**
- A minimum of six (6) feet of undisturbed earth between adjacent trench walls shall be required.
 - Invert of the overflow pipe in the first relief line shall be at least four (4) inches lower than the invert of septic tank outlet.
 - Media for disposal fields shall consist of crushed rock, gravel or other suitable material as approved by the Department, and shall be size number 2, 3, 4 or 24 coarse aggregate, as defined by ASTM D-449-86. The material shall be free from dust, sand, clay or excessive fines. At least ninety (90) percent of the material must pass a two and one-half (2 1/2) inch screen and not more than five (5) percent may pass a one-half (1/2) inch screen.
 - Media for the disposal fields shall extend from at least two (2) inches above the top of the perforated field line pipe to at least six (6) inches below the bottom of the perforated field line pipe to achieve a minimum of twelve (12) inches total, except for systems designed pursuant to T.C.A. § 68-221-403(i).
 - The top of the disposal field media shall be below the invert of the septic tank outlet.
 - Soil material excavated from trenches should be used in backfilling and should be left mounded over the trenches until initial settling has taken place.
 - The bottom of the trenches and the distribution lines shall have a grade from level to no greater than four (4) inches.
 - The pipe used in the disposal field trenches shall have a minimum diameter of four (4) inches, be perforated with one-half (1/2) inch holes and conform to or exceed the standards of the most current version of ASTM F-405.
 - The maximum depth of a trench shall be forty-eight (48) inches. The minimum depth shall be twenty-four (24) inches, except for systems designed pursuant to T.C.A. § 68-221-403(i).
- General Utility Notes:**
- Existing utility lines shown are approximate locations only. The contractor shall field verify all existing utility line locations prior to any construction. Any deviations from the design locations shall be reported to the owner or engineer prior to beginning construction.
 - The contractor will provide all necessary protective measures to safeguard existing utilities from damage during construction of this project. In the event that special equipment is required to work over and around the utilities, the contractor will be required to furnish such equipment. The cost of protecting utilities from damage and furnishing special equipment will be included in the price bid for other items of construction.
 - The contractor shall notify each individual utility owner of his plan of operation in the area of the utilities, and request them to properly locate their respective utility on the ground. This notification shall be given at least three (3) business days prior to commencement of operations around the utility.
 - The contractor shall refer to engineer's plans and specifications for actual location of all utility entrances, to include sanitary sewer laterals, domestic water and electrical service. This contractor shall coordinate installation of utilities in such a manner as to avoid conflicts and assure proper depths are achieved as well as coordinating with the regulatory agency as to location and scheduling of tie-ins/connections to their facilities.
 - All underground utilities (water, sewer, storm sewer, electrical conduit, irrigation sleeves, and any other miscellaneous), shall be in-place prior to the placement of base course material.
 - Location of site utilities shall be verified with proper utility company providing service.
 - In Tennessee it is a requirement per "the underground utility damage prevention act" that anyone who engages an excavation must notify all known utility owners, no less than three nor more than ten working days, prior to their intended excavation. A list of these utility owners may be obtained from the county register of deeds those utility owners who participate in the Tennessee one call system can be notified toll free at 1-800-351-1111.

Owner:
John Reed
5276 Central Valley Rd.
Murfreesboro, TN 37129

Developer:
Patti Travis
4603 Sulphur Springs Rd.
Murfreesboro, TN 37129
(615)427-3408

Deed Reference:
Record Book 468, Page 2978
Property Map 48, Parcel 49.00
9th Civil District

Yard Requirements:
Front: 60'
Side: 40'
Rear: 60'

Land Use Data:
Total Area = 5.96± Acres
Zoning: Commercial Services (CS)

Building Size:
Prop. 1-Story Bldg.; S.F. 40,500 sq
Building Height: Approx. 16'
Flood Map:
No Portion Of This Property Lies Within A Special
Flood Hazard Area, As Determined, From
Elevations Shown On F.E.M.A. Firm Maps For
Rutherford County, Map No. 471490133H,
Effective Date January 5, 2007

Parking Requirements:
Required:
Total Required: 3
Provided: 3

Intended Use: Mini Storage Units

Land Use Data Table:
Total Land Area: 5.96± Ac. (259,623 sq.ft.)
Proposed Bldg. = 40,500 sq.ft.

FAR= 40,050/259,623 = 15%

Total Open Space: 116,743 sq.ft.

OSR= 116,743/259,623 = 45%

Waterline design to be provided by Consolidated Utility District's consultant. Waterline shown is for graphic purposes only and does not represent a design. The location of all fire hydrants and waterlines will be determined by C.U.D. In compliance with the current Rutherford County Subdivision Regulations.

Install Above Ground
Back Flow Preventer
With Box Per CUD
5/8" Water Meter
Coordinate Install Timing
With CUD

- Site Notes:**
- See architectural drawings for building dimensions.
 - Contractor shall immediately notify the engineer of any discrepancies found between these plans, the architectural plans, and/or field conditions prior to construction.
 - Apparent errors, discrepancies, or omissions on the drawing shall be brought to the attention of the owner prior to bid submittal. The contractor may not use apparent errors, discrepancies, or omissions present on the drawings presented for bidding for additional charges after bids have been submitted. The architect shall be permitted to make corrections and interpretations as may be deemed necessary for the fulfillment of the intent of the contract documents.
 - The contractor shall stake all improvements using the geometric data provided in the drawings. It is the sole responsibility of the contractor to completely stake and check all improvements to ensure adequate positioning, both horizontal and vertical, prior to the installation of any improvements. No digital file will be provided.
 - The notes and plans shown call attention to certain required features of the construction but do not claim to cover all details of design and construction. The contractor shall furnish and install the work complete and ready for operation.
 - After completion of construction, the contractor shall perform site cleanup to remove all trash, debris, excess materials, equipment, and other deleterious materials associated with construction. The contractor is expressly responsible for ensuring the site is clean and in operable condition at the time of final acceptance.
 - The contractor is responsible for the protection and replacement of all property pins on this site.
 - These drawings are intended for use on this site only and as an integrated set for this specific project. These drawings may not be used in whole or in part on any other project under the professional engineer's seal. The owner shall hold harmless and indemnify the architect and engineer from and against any and all claims of any nature whatsoever arising from such use.
 - Existing conditions and topo shown herein are taken from a the County Aerial Topo.

- Waterline Notes:**
- All water mains shall be hydrostatically tested and disinfected before acceptance.
 - All trenches, pipe laying, and backfilling shall be in accordance with federal O.S.H.A. regulations.
 - Contractor shall comply with all requirements of the latest edition of the CUD specifications.
 - Utility contractor shall have approval of all governing agencies having jurisdiction over this system prior to installation.
 - Main line water taps shall be made by CUD.
 - The developer must post bond, \$2,000 or \$250 for each valve box (whichever is greater), whenever the subject project has valve boxes that are located within pavement upon completion of the proposed water system extension.
 - The owner/developer for budget purposes shall contact CUD for related fees to project which may be substantial.
 - Contact Bill Dunhill with CUD for water meter specifications.
 - The reduced pressure backflow preventer for the domestic water service must be above ground and outside also.

Survey Control
Field Survey performed from: 10-19 to 10-24-2013.
Horizontal & Vertical Survey Control based on the
Tennessee State Plane coordinate system (NAD83-96,
NAVD88), referenced from City of Murfreesboro UGB
monument #02-031. No datum adjustments were applied.

BENCHMARK #1:
NAIL IN 12" TREE
N: 585199
E: 1841073
ELEV: 563.31

Legend:

□	EXIST. CONCRETE MONUMENT	○	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊖	HC SIGN
+	EXIST. SIGN POST	+	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER & PHONE)	—	WINGED HEADWALL
○	EXIST. CATCH BASIN (STORM SEWER)	—	MANHOLE
⊕	EXIST. WATER/GAS VALVE	—	PROPOSED FOOT CRAWL SPACE ELEVATION
⊖	EXIST. TELEPHONE RISER	—	EXIST. FSN ELEVATION
⊖	EXIST. GAS RISER	—	POST INDICATOR VALVE
⊖	ELECTRICAL ENCLOSURE	—	REDUCER
⊖	EXIST. WATER METER	—	REMOTE FIRE DEPT. CONNECTION
⊖	EXIST. UTILITY POLE	—	REVISION NUMBER
⊖	EXIST. FIRE HYDRANT	—	RIP RAP
⊕	BENCHMARK	—	RUNOFF FLOW ARROW
—	BLOW OFF VALVE	—	SEWER/STORM FLOW DIRECTION
—	CONCRETE BOLLARD	—	TRAFFIC ARROW
—	CATCH BASIN	—	TURN LANE ARROWS
—	CURB INLET	—	VAN ACCESSIBLE HANDICAP DESIGNATION
—	AREA DRAIN	—	WHEEL STOP
—	CONCRETE THRUST BLOCK	—	GREASE TRAP
—	DOUBLE DETECTOR CHECK VALVE	—	DRAINAGE STRUCTURE DESIGNATION
—	FIRE DEPT. CONNECTION	—	DRAINAGE PIPE DESIGNATION
—	FIRE HYDRANT	—	CONCRETE SIDEWALK
—	GAS METER	—	EXTRUDED CURB
—	GATE VALVE & BOX	—	CURB & GUTTER
—	EXTERIOR CLEANOUT ECO	—	CONCRETE SWALE
—	WATER METER	—	TYPE-X- HEADWALL

EXISTING PHONE	—	—
EXISTING ELECTRIC	—	—
PROPERTY LINE	—	—
EASEMENTS	—	—
RIGHT OF WAY	— ROW —	— ROW —
EROSION CONTROL SILT FENCE	—	—
EXISTING TREELINE	—	—
EXISTING FENCELINE	— X —	— X —
MINIMUM BUILDING SETBACK LINE	—	—
PHASE BOUNDARY	—	—
EXISTING GAS LINE	— G —	— G —
PROPOSED GAS LINE	— G —	— G —
EXISTING STORM	— STM —	— STM —
PROPOSED STORM	— STM —	— STM —
EXISTING CONTOUR LINES	— 601 —	— 601 —
PROPOSED CONTOUR LINES	— 601 —	— 601 —
EXISTING SANITARY SEWER	— S —	— S —
PROPOSED SANITARY SEWER	— S —	— S —
EXISTING WATER	— W —	— W —
PROPOSED WATER	— W —	— W —



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SEC, Inc.

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PHONE: (615) 890-7001
FAX: (615) 895-2607
E-MAIL: DIENKINSEK-CIVIL.COM
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

**MINI STORAGE
Central Valley Rd.
Rutherford County, Tennessee**

SITE UTILITY PLAN

REVISIONS:

DRAWN: DWJ
DATE: 6-5-15
CHECKED: DWJ
FILE NAME: 15116project.dwg
SCALE: 1"=40'
JOB NO: 15116
SHEET: 4

Rutherford County Regional Planning Commission September 28, 2015 Staff Comments

X. Staff Reports/Other Business – PC By-Laws

The 2015 Work Schedule included an update to the Planning Commission's By-Laws. The current By-Laws were last amended in 2010. Since that time, the County has adopted a new Zoning Ordinance and Subdivision Regulations. In light of these changes, Staff felt that a complete overhaul of the By-Laws was in order.

While the changes to the By-Laws are significant, the way the Planning Commission does business will not change. Most of the changes that were made are consistent with the way the Planning Commission currently operates. That being said, Staff does have the following items for the Planning Commission to consider:

1. Role of the chair: Historical practice has been to allow the chair to vote but not to make or second a motion. Robert's Rules of Order does allow for the chair to make or second a motion. Staff has written the By-Laws allowing the chair to vote but not to make/second any motions. The Commission may wish to discuss this item in more detail;
2. Deferral period for rezoning applications: Unlike subdivision plats, there is no statutory timeframe for action on a rezoning request. Staff included a deferral timeframe of 35 days with this update, with the ability of the applicant to approve a longer timeframe. The Commission may wish to discuss this item in more detail, as well.

A copy of the draft By-Laws is included with your agenda packets. Staff will present this draft at the September 28, 2015 meeting.

RUTHERFORD COUNTY REGIONAL PLANNING COMMISSION

BY-LAWS

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ARTICLE VI: AMENDMENTS AND SUSPENSION OF THE RULES	6

RUTHERFORD COUNTY REGIONAL PLANNING COMMISSION
BY-LAWS

ARTICLE I: PURPOSE AND AUTHORITY

These bylaws are being developed pursuant to Tennessee Code Annotated (TCA) § 13-3-103 in order to facilitate orderly business in Planning Commission meetings.

ARTICLE II: THE COMMISSION

Section 1. Name of Commission. The name of the commission shall be the "Rutherford County Regional Planning Commission" (Hereinafter referred to as the "Planning Commission" or "Commission") as established and provided in TCA § 13-3-101, and any amendments and supplements thereto.

Section 2. Office of the Commission. The principal office of the Planning Commission shall be located at One South Public Square, Room 200, Murfreesboro, Tennessee.

Section 3. Membership. The membership of the Planning Commission shall conform to TCA § 13-3-101, and any amendments and supplements thereto.

Section 4. Attendance. The attendance of Planning Commission meetings is crucial to the success of Rutherford County's planning program. Therefore, any member who is absent for three consecutive regularly scheduled meetings shall be removed from the Planning Commission. Where a member has a legitimate reason for being absent three consecutive meetings, they may appeal their removal.

Section 5. Planning Commissioner/Staff Training. Planning Commission members and each full-time or contract professional planner or other administrative official whose duties include advising the Planning Commission shall comply with the requirements of TCA § 13-3-101(j), and any amendments or supplements thereof.

ARTICLE III: OFFICERS / COMMITTEES

Section 1. Officers. Pursuant to TCA § 13-3-103, the Planning Commission shall elect a chair from among its members. The Planning Commission is also authorized to select additional officers from its members as it deems appropriate. The officers shall be a chair, a vice-chair, and a secretary.

- a. Chair. The chair shall preside at all meetings of the Planning Commission, call special meetings in accordance with these By-Laws, see that all actions of the Commission are properly taken, and perform such duties as the Commission shall authorize. The chair may participate in all discussions and shall vote as a member of the Commission but may not make or second any motions.
- b. Vice-Chair. During absence, disability or disqualification of the chair, the vice-chair shall exercise or perform all the duties and be subject to all the responsibilities of the chair.

- c. Secretary. The Planning Director shall serve as secretary and shall be responsible for maintaining a full record of all proceedings of the Planning Commission, serve all notices required by law, prepare the agenda for all meetings, be the custodian of Planning Commission records, inform the Planning Commission of related correspondence and attend to such correspondence, handle funds allocated to the Planning Commission in accordance with its directives, and to sign all official documents of the Planning Commission.

Section 2. Chair Pro-Tem. In the absence of the chair and vice-chair, and a quorum is present for a regular or special meeting, then a chair pro-tem for such meeting shall be elected by the Planning Commission from those members present. The chair pro-tem shall exercise or perform all the duties and be subject to all the responsibilities of the chair. The secretary of the Planning Commission shall take nominations and conduct the election.

Section 3. Secretary Pro-Tem. The secretary pro-temp may be appointed by the Planning Director in the event of his or her absence or disability. The secretary pro-tem shall perform the duties of the secretary in his or her absence.

Section 4. Nominating Committee. There shall be a nominating committee of three Planning Commission members appointed by the chair during the regular meeting in December. If this meeting is cancelled for reasons including, but not limited to, holidays or inclement weather, the Committee shall be appointed at the next scheduled regular meeting. None of the members appointed to the nominating committee shall be officers of the Planning Commission. It shall be the responsibility of the nominating committee to nominate candidates for chair or vice-chair prior to the annual election of officers or to nominate candidates in the event one or more of these positions becomes vacant between the annual election of officers. The nominating committee shall present to the Planning Commission, at least five days in advance of any election, a list of nominees for the position of chair and vice-chair. Nominations for officers may also be made from the floor.

Section 5. Elections. The chair and vice-chair shall be elected on the fourth Monday of January, during the Planning Commission's regular meeting, to serve for a one-year term, with eligibility for re-election. If this meeting is cancelled for reasons including, but not limited to, holidays or inclement weather, the chair and vice-chair shall be elected at the next scheduled meeting. Confirmation of appointees shall be by simple majority of members present. Officers shall hold office until successors are elected.

Section 6. Vacancies.

- a. Should any vacancy occur among the memberss of the Planning Commission by reason of death, resignation, disability, or otherwise, immediate notice thereof shall be given to the County Mayor by the secretary. Vacancies shall be filled pursuant to the requirements of TCA § 13-3-101 and any amendments and supplements thereto.
- b. Should the office of chair or vice-chair become vacant, the Planning Commission shall at its next meeting, elect a successor in the manner prescribed in these By-Laws for the election of such officer and such election shall be for the unexpired term of such office.

Section 7. Special Committees. Special committees may be appointed by the chair for purposes and terms which the Planning Commission members may approve by a majority vote.

ARTICLE IV. MEETINGS

Section 1. Regular Meetings. Regular meetings shall be held on the second Monday of each month at 6:00 p.m. and the fourth Monday of each month at 9:00 a.m. at such place as is designated by the Planning Commission. When conflicts arise, including but not limited to holidays or inclement weather, and after consultation with the County Mayor and/or Planning Director, the regular meeting shall be held at such time and place as may be designated by the chair or may be cancelled. There shall be only one regular meeting during the months of November and December. In the event there is no business to consider, the chair has the authority to cancel a regular meeting. The date and time of regular meetings may be changed by a majority consensus of the entire Planning Commission.

Section 2. Special Meetings. The chair may, and shall upon request of two members, call a special meeting for the purpose of transacting any business designated in the call.

Section 3. Notice. Notice of all regular and special meetings shall given in accordance with applicable law.

Section 4. Quorum. A quorum (Majority of membership) shall be present to transact official business of the Planning Commission. Approval of a simple majority of those present shall be required to pass a motion unless otherwise provided by these By-Laws.

Section 5. Order of Business. Business of the Planning Commission shall, in general, follow the format below:

- I. Call to Order
- II. Prayer/Pledge of Allegiance
- III. Roll Call/Determination of Quorum
- IV. Consideration of the Minutes of Previous Meetings
- V. Identification of Items Withdrawn/Deferred
- VI. Consideration of New Business
- VII. Consideration of Old Business
- VIII. Consideration of Staff Reports/Other Business
- IX. Adjournment

The order in which items may be considered on the agenda may be changed as determined by the Chair or by a vote of the Planning Commission.

Section 6. Actions of the Commission. The Planning Commission may execute the following actions in conducting its official business:

- a. Subdivision Plats – Procedures for subdivision plat consideration, including timeframes for action, shall be consistent with TCA § 13-3-404.

- b. Waivers – Procedures for waivers to the Subdivision Regulations, including timeframes for action, shall be consistent with Article I.H. of the Subdivision Regulations for Rutherford County.
- c. Site Plans – Procedures for site plan consideration, including timesframes for action, shall be consistent with § 1404 C. of the Rutherford County Zoning Ordinance.
- d. Rezoning – TCA § 13-7-105(a) states, in part, that, “any zoning amendment shall not be made or become effective unless the same be first submitted for approval, disapproval or suggestions to the regional planning commission of the region...” The Planning Commission may also defer an application following a public hearing if it deems more information is needed prior to making a recommendation. Deferrals may be for a period not to exceed 35 days from the date of the public hearing. The applicant may agree to a longer deferral period.

Section 7. Deferral of a Development Application. Any request to defer consideration of a development application (e.g. rezoning, plat, etc.) by the applicant should be submitted to the Planning Director in writing prior to the scheduled meeting. Applicant-initiated deferrals may not defer an application for a period exceeding three (3) months from the original consideration date of the Planning Commission. Any application not considered before the three (3) month deferral timeframe will be required to submit a new application, along with any required fees, and will be subject to the regulations in effect at that time.

Section 8. Voting

- a. All matters to be voted on by the Planning Commission shall be put in the form of a motion by one of the commissioners and seconded by a commissioner. The chair shall conduct the voting by asking those in favor to signify by saying “Yes” and those opposed by saying “No”. The chair shall inform the secretary of the number of “Yes” and “No” votes. The chair shall have a roll call vote if there is any question about the result of the vote or if any commissioners so request, and the record of such roll call vote shall be recorded by the secretary in the minutes.
- b. All motions that are voted on shall be recorded in the minutes of the meeting. The names of the commissioners making the motion and second, the number of “Yes” and “No” votes shall be recorded. Any votes to pass shall be recorded as no votes. The record shall include the name of any commissioner abstaining from discussion and voting.

Section 9. Conflict of Interest. Planning Commissioners shall abide by the Code of Ethics for Rutherford County adopted by the Rutherford County Board of Commissioners on April 12, 2007 and any amendments and supplements thereto.

Section 10. Minutes. A permanent record of the Planning Commission and its proceedings shall be maintained as minutes. It is the responsibility of the secretary of the Planning Commission or his/her designee to prepare the minutes of the proceedings and maintain copies of all reports, exhibits, correspondence and other pertinent information utilized by the Planning Commission in the course of its deliberations. The minutes shall be signed by the secretary and Vice-Chair after being approved by the Planning Commission.

Section 11. Annual Report of Staff. It shall be the responsibility of the Planning Director to present to the Planning Commission a report on the activities for the previous calendar year. The report shall be presented to the Planning Commission during the regular meeting on the fourth Monday in January of each calendar year. If this meeting is cancelled for reasons including, but not limited to, holidays or inclement weather, the Annual Report will be presented at the next regular meeting.

ARTICLE V: RULES OF ORDER

When a parliamentary matter arises that is not covered by these By-Laws, the current addition of Robert's Rules of Order shall apply.

ARTICLE VI: AMENDMENTS AND SUSPENSION OF THE RULES

Section 1. Amendments. These By-Laws may be amended at regular or special meetings, but no amendment shall be adopted unless at least five days notice has been given to all members of the Planning Commission. A favorable vote of a majority of the entire membership of the Planning Commission shall be required to effect a change in these By-Laws.

Section 2. Suspension of the Rules. Except as otherwise provided by applicable law, a rule or procedure may be suspended at any meeting by majority vote of the members present.

Planning Commission Action: Accepted and adopted: February 11, 1985

Amended: December 5, 1988, April 6, 1992, May 1, 1995, June 5, 1995, March 3, 1997, August 4, 1997, April 6, 1997, May 4, 1998, December 7, 1998, June 9, 2008, February 23, 2009, September 28, 2009, August 23, 2010, September 27, 2010.