

Rutherford County Regional Planning Commission

Agenda – June 22, 2015 – 9:00 AM

Planning Department Mezzanine Meeting Room

- I. **CALL TO ORDER**
- II. **PRAYER/PLEDGE OF ALLEGIANCE**
- III. **ROLL CALL/DETERMINATION OF QUORUM**
- IV. **APPROVAL OF THE MINUTES FOR MAY 26, 2015**
- V. **ITEMS WITHDRAWN/DEFERRED**
- VI. **WAIVER REQUESTS**
 - A. Jerry Warrick (15-4005) is requesting a fire hydrant waiver for property located along Vaught Road
- VII. **SUBMITTED FOR PRELIMINARY PLAN APPROVAL**
 - A. South Haven Subdivision (15-1007) – 556 lots on 262.19 acres, zoned PUD, located along Ocala Road, South Haven Development Group, LLC applicant
 - B. Twin Oak Subdivision (15-1008) – 16 lots (15 Buildable) on 21.9 acres, zoned RM, located along Twin Oak Drive, Michael's Homes applicant. Includes a waiver request to the fire hydrant requirements
 - C. Muirwood Subdivision, Section III, Phase 1 (15-1009) – 14 lots on 5.0 acres, zoned RM with a previously approved Conditional Use Permit (Planned Development), located along Rucker Lane, Tennessee Contractors, Inc. applicant
 - D. North Side Estates (15-1010) – 140 lots (138 buildable) on 185 acres, zoned RM, located along Lascassas Pike (State Highway 96), T & L Development, applicant
- VIII. **SUBMITTED FOR FINAL PLAT APPROVAL**
 - A. Waldron Crossing Section 4 (15-2044) – 13 lots on 5.6 acres, zoned RM, located along Lebanon Pike, Waldron's Crossing LLC applicant
 - B. Waldron Crossing Section 5 (15-2040) – 11 lots on 5.1 acres, zoned RM, located along Lebanon Pike, Waldron's Crossing LLC applicant
 - C. Twin Oak Subdivision Section 1 (15-2030) – 2 lots on 2.4 acres, zoned RM, located along Twin Oak Drive, Michael's Homes applicant. Includes a waiver to the fire hydrant requirements
 - D. Welch Subdivision (15-2039) – 2 lots on 8.9 acres, zoned RM, located along Independent Hill Road, Albert Green C/O Jamie Reed applicant. Includes waivers to the fire hydrant, easement width and minimum acreage on a private easement requirements
 - E. Lannom-Couchville Pike Subdivision (15-2042) – Resubdivision of 3 lots on 11.1 acres, zoned RM, located along Couchville Pike, Dorothy Lannom applicant
 - F. Shadowens Two-Lot Subdivision (15-2045) – 2 lots on 2.58 acres, zoned RM, located along Wayside Road, Phillip and Laura Shadowens applicant

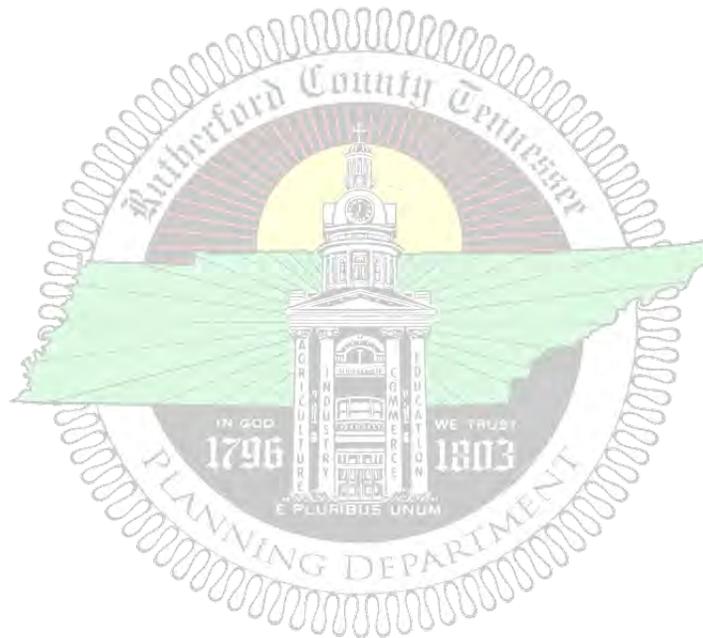
G. Rose Ridge Lots 1 and 2 and Scottish Glen Common Area (15-2046) – Resubdivision of 3 lots on 16.33 acres, zoned RM (Portion within City Limits of Murfreesboro), located along Colyn Avenue, RZM, LLC applicant

IX. SUBMITTED FOR SITE PLAN APPROVAL

A. Overall Brewing & Blending (15-3018) – New construction of approximately 2,700 square feet of Food and Beverage Services space (Brew pub) on 1.82 acres, zoned CS, Ryan & Christy Stegall applicants

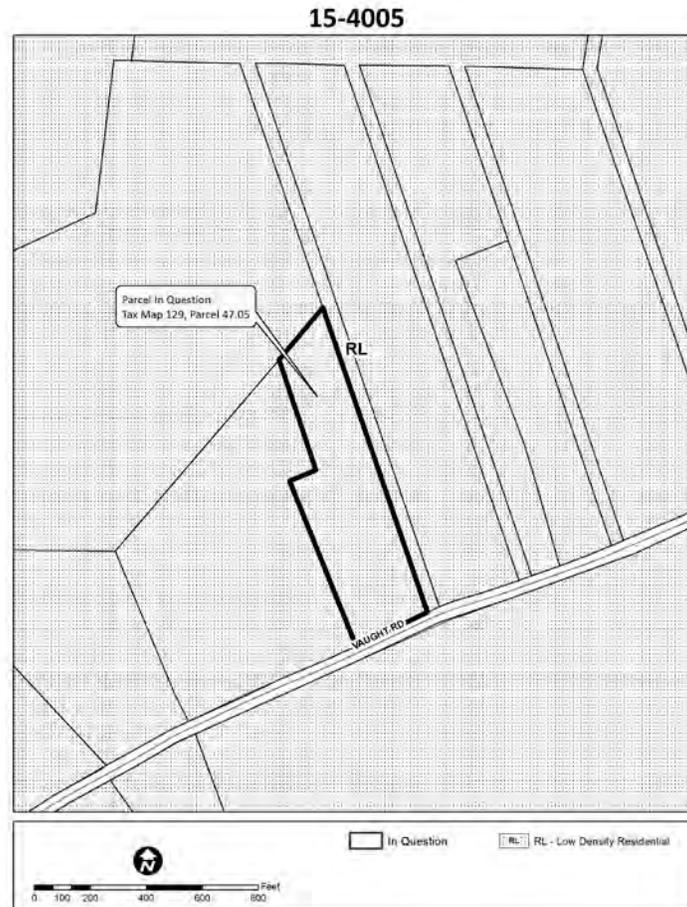
X. STAFF REPORTS/OTHER BUSINESS

XI. ADJOURNMENT



Rutherford County Regional Planning Commission June 22, 2015 Staff Comments

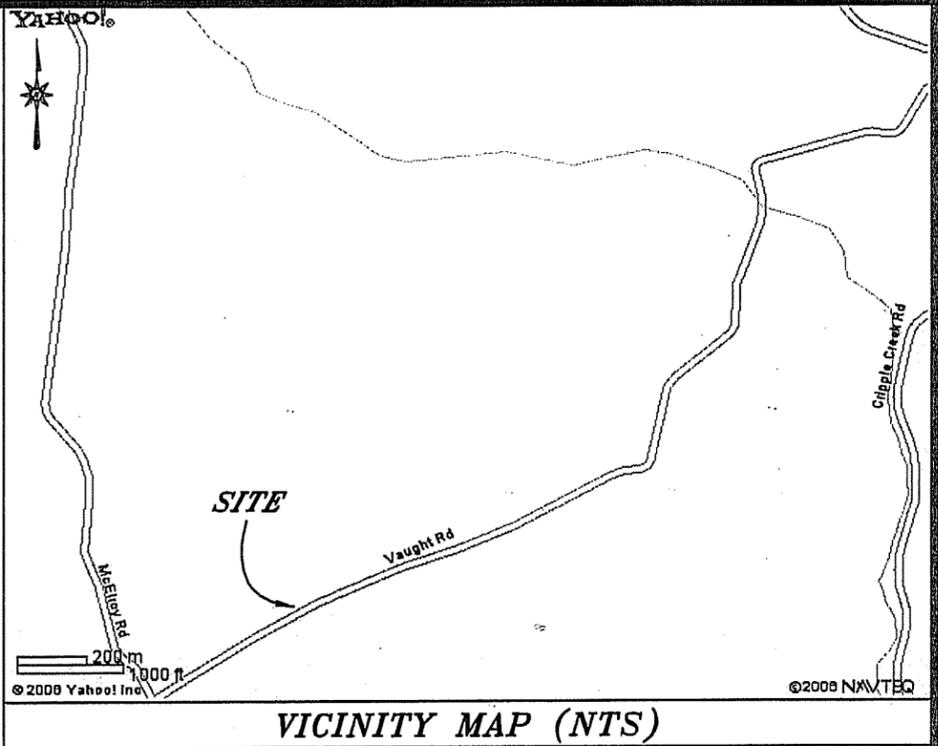
File: 15-4005
Applicant Name: Jerry Warrick
Property Address: Vaught Road
Request: Waiver from Article III D. 4. b. requiring a fire hydrant within 1,000 feet of a subdivision lot



The subject property is located on the north side of Vaught Road. The applicant desires to subdivide an existing 6.5-acre tract into two separate lots. Since both lots will be less than five acres, a fire hydrant will need to be located within 1,000 feet of each lot. According to information from Consolidated Utility District (CUD), the site will not support a fire hydrant. Therefore, the applicant is requesting a waiver to the fire hydrant requirements. If the waiver is granted, the applicant will have a plat prepared for the subdivision. The plat will require Planning Commission approval due to the waiver request.

THIS SURVEY IS FOR SOILS SITE LOCATION ONLY

THIS SURVEY WAS DONE UNDER THE AUTHORITY OF
TCA 62-18-126; AND THIS SURVEY IS NOT A GENERAL
PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.



TRACT 12

10B

9423.3 SQ. FT.
SOILS SITE

BRADYVILLE-LOMOND
75 MPI TO 24"
0-5% SLOPES

TALBOTT-BRADYVILLE
0-5% SLOPES TRACT 8

N 71°05'33" E
103.33'

BRADYVILLE-LOMOND
75 MPI TO 24"
0-5% SLOPES
PREVIOUSLY
MAPPED

EX. SOILS
SITE

TRACT 9

TRACT 11

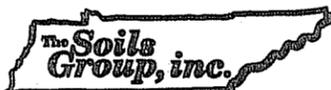
CRIDER EST, TRACT#10

10A possible soil area
TRACT 10

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 46°42'41" E | 99.75' |
| L2 | N 72°04'31" W | 82.62' |
| L3 | N 23°37'47" W | 67.16' |
| L4 | N 71°10'50" E | 85.74' |
| L5 | S 36°22'27" E | 97.57' |
| L6 | S 42°52'45" W | 49.21' |

LEGEND

- = TDOT R/W Monument
- = Soils Stake
- = 1/2" Rebar (O)
- = Property Line
- = Fence Line



Wastewater Consultants
2159 G-4 N. Thompson Lane
Murfreesboro, TN 37129
615-867-2700 fax 615-867-2702 email: thesoilsgroup@comcast.net
This drawing has been electronically produced from our
very information provided and has been revised for the
purpose of soil mapping and should not be used for any
other purpose

**High Intensity Soil Map
Notes:**

1. Soil units underlined by red and yellow have marginally favorable properties for onsite wastewater disposal systems if the required soil improvement practices and restrictions can be met.
2. Soil units underlined by red have unfavorable properties for wastewater disposal systems.

Legend:

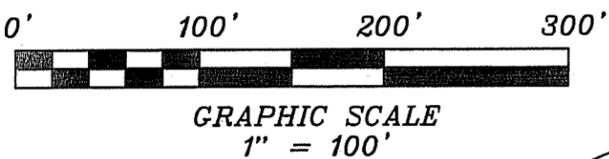
--- Edge of evaluation

Any disturbance to these soils after this date may void their favorability.

Soil site stakes on ground are for ground control purposes only and do not necessarily designate favorability.

The Soil Consultant's signature does not constitute approval by the Environmental Dept.

Randy Dickerson
Soil Consultant
3-26-07



VAUGHT ROAD

**SOILS SITE SURVEY
TRACT 10, CRIDER ESTATE**

LOCATED IN THE 23RD CIVIL DISTRICT
OF RUTHERFORD COUNTY, TENNESSEE,
NEAR THE COMMUNITY OF READYVILLE

PREPARED FOR:
RANDY DICKERSON
THOMPSON LANE
MURFREESBORO, TN

RATIO OF PRECISION = 1: 10,000+

SURVEYOR'S CERTIFICATE:

I hereby certify the positional accuracy of the soils site located hereon is accurate to the best of my knowledge and belief based on the information at the time of said soils site survey.

Date Christopher Blake Sexton RLS 2400

NOTE: BEARINGS ARE RELATIVE TO
PLAT NORTH -- UNRECORDED



REVISIONS:

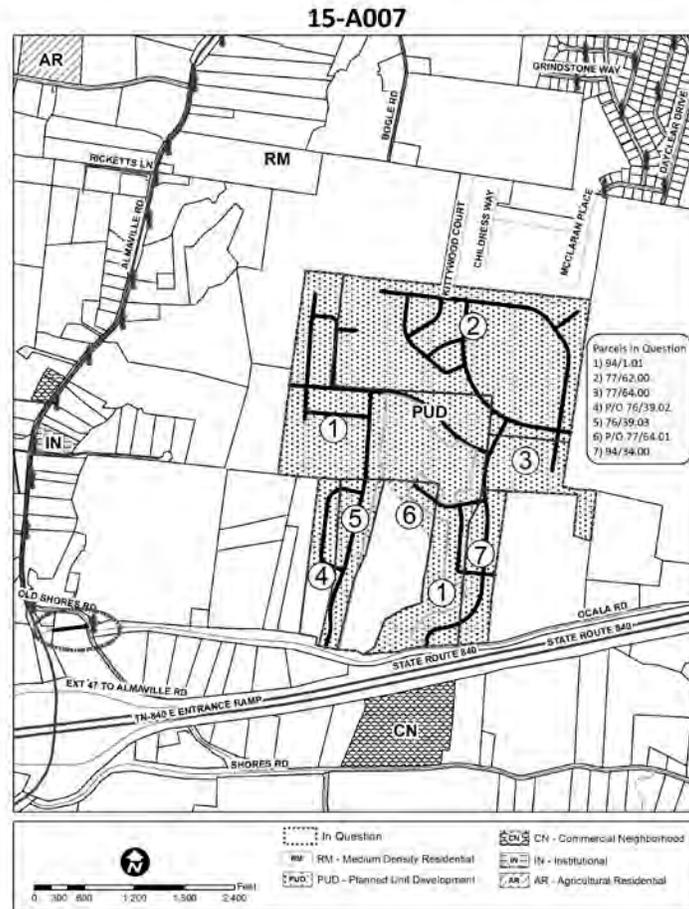
SURVEYED BY:
DBH, JWS, MJ, GC
DRAWING DATE:
09/27/2006
DRAWN BY: CBS
CHECKED BY: CBS
SCALE: 1" = 100'
PROJECT NUMBER:
BPA VAUGHT RD
FILE NAME:
C:\PROJ\BPA VAUGHT RD
TR 10 SOILS.dwg

C:\Logo\FINAL6reduced.bmp

**C. BLAKE SEXTON
RLS 2400
2159 N. Thompson Lane,
Ste. B-1
Murfreesboro, TN
37129
615-867-0414 (O)
615-867-8335 (F)**

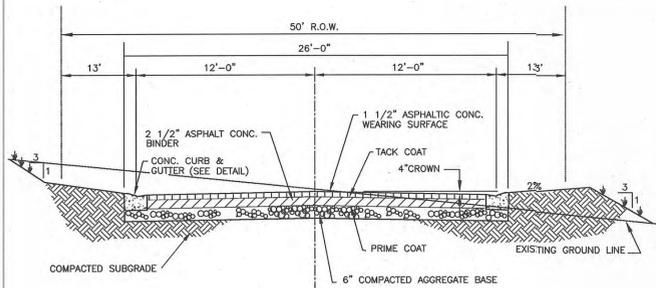
Rutherford County Regional Planning Commission June 22, 2015 Staff Comments

Plat/Plan Name: South Haven Subdivision (15-1007)
Request: Preliminary Plan Approval
Site Details: 556 lots on 262.19 acres, zoned PUD
Developer: South Haven Development Group, LLC
Property Location: Ocala Road

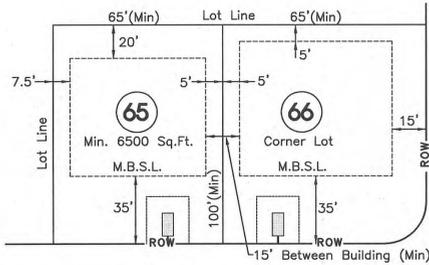


The subject property is located on the north side of Ocala Road, to the east of Almaville Road. The planned development application was approved at the February 12, 2015 Board of Commissioners meeting. Staff anticipates Section 1 to be the first 20-25 lots. The applicant has indicated to Staff that there will be changes to the overall development that will require an amendment to the PUD approval. That being said, these changes should not affect the first section of the development. Staff will also have additional comments at the meeting regarding road improvements for this project.

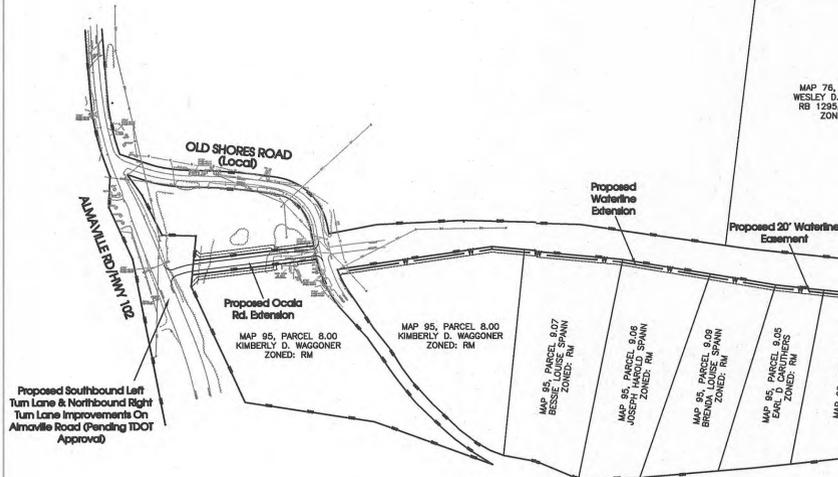
Any approval should be made subject to Staff Comments.



TYPICAL SECTION
SCALE: NONE



Typical Lot Detail
N.T.S.



Proposed Southbound Left Turn Lane & Northbound Right Turn Lane Improvements On Almadale Road (Pending TDOF Approval)



* Sinkholes To Remain

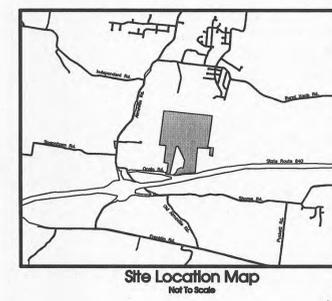
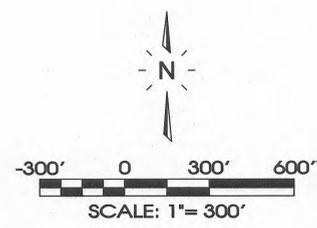


Table Of Contents:

- 1) Master Plan
- 2) Preliminary Plan
- 3) Preliminary Plan
- 4) Preliminary Plan
- 5) Preliminary Plan
- 6) Preliminary Plan

- Notes:**
- 1) Phase Lines Are For General Intent And May Adjust To Meet Construction And Market Conditions. Each Phase Will Be Broken Into Smaller Sections Of 30-40 Lots Each.
 - 2) Stream Buffer Is Required To Be 60' Wide Average, 30' Wide Minimum And May Be Adjusted From 60' Average On Construction Plans For Construction Issues.
 - 3) Utility Locations Are For General Intent And May Be Adjusted On Construction Plans.
 - 4) Stormwater Areas & Sizes & Drainage Easements Are Shown For General Intent And Subject To Final Construction Plans.

Owner/Developer:
South Haven Development Group, LLC.
621 Bradley Ct.
Franklin, TN 37067

Floodplain Note:
A Portion Of This Site Lies Within The 100 Year Flood Plain Per F.E.M.A. Community Panel No. 47149C0230J, Dated Oct. 16, 2008.

Land Data:
Zoned: PUD
Area: 262.19± Acres

Yard Requirements:
Front: 35'
Side: 5' (15' Separation Between Buildings)
Rear: 20'

SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

SEC, Inc.
860 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 880-7801 F-MAIL: MTA@SEC-CIVIL.COM FAX: (615) 885-2687
E-MAIL: MTA@SEC-CIVIL.COM FAX: (615) 885-2687

REVIEW
Not Interfered With

THE SITE AS SHOWN ON THESE CONSTRUCTION DRAWINGS IS INTENDED TO ACHIEVE SPECIFIC ENGINEERING DESIGN CRITERIA AND OBJECTIVES. IT IS THE ASSUMPTION OF THE ENGINEER AND ARCHITECT THAT THE SITE IS SUITABLE FOR THE PROPOSED DEVELOPMENT AND THAT THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE ENGINEER AND ARCHITECT ASSUME NO LIABILITY FOR THE CONSTRUCTION OF THE PROJECT OR FOR THE PERFORMANCE OF THE PROJECT.

South Haven Subdivision
Rutherford County, Tennessee

Master Plan

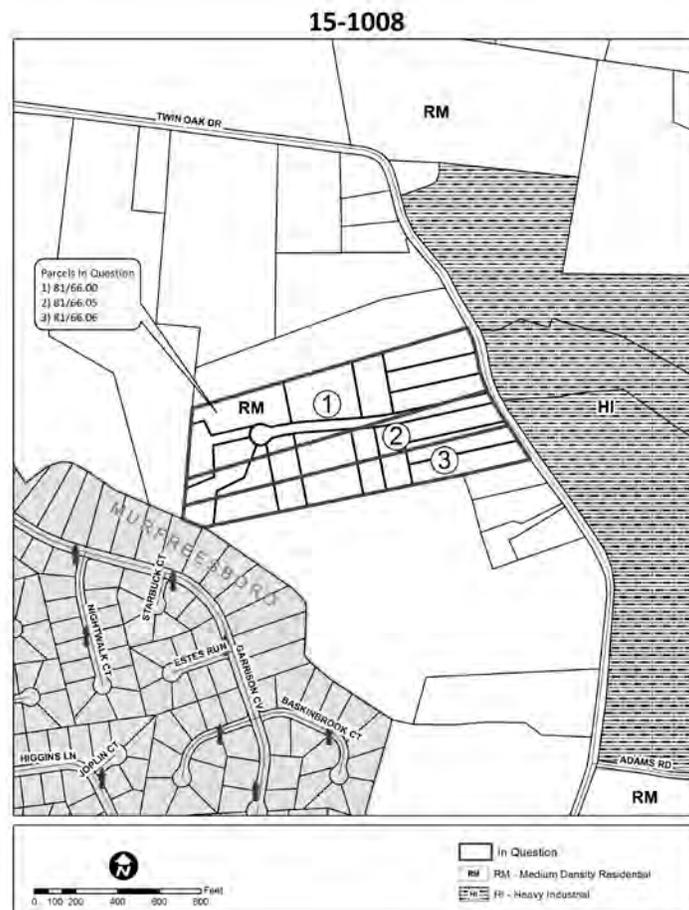
REVISIONS:

| |
|--------------------------|
| DATE: 6-5-15 |
| CHECKED: |
| MAT |
| FILE NAME: masterplansub |
| SCALE: 1"=300' |
| JOB NO. 12104 |
| SHEET: 1 of 6 |

15-007

Rutherford County Regional Planning Commission June 22, 2015 Staff Comments

Plat/Plan Name: Twin Oaks Subdivision (15-1008)
Request: Preliminary Plan Approval – Includes a request for a fire hydrant waiver
Site Details: 16 lots (15 buildable on 28.8 acres, zoned RM)
Developer: Michael's Homes
Property Location: Twin Oak Drive



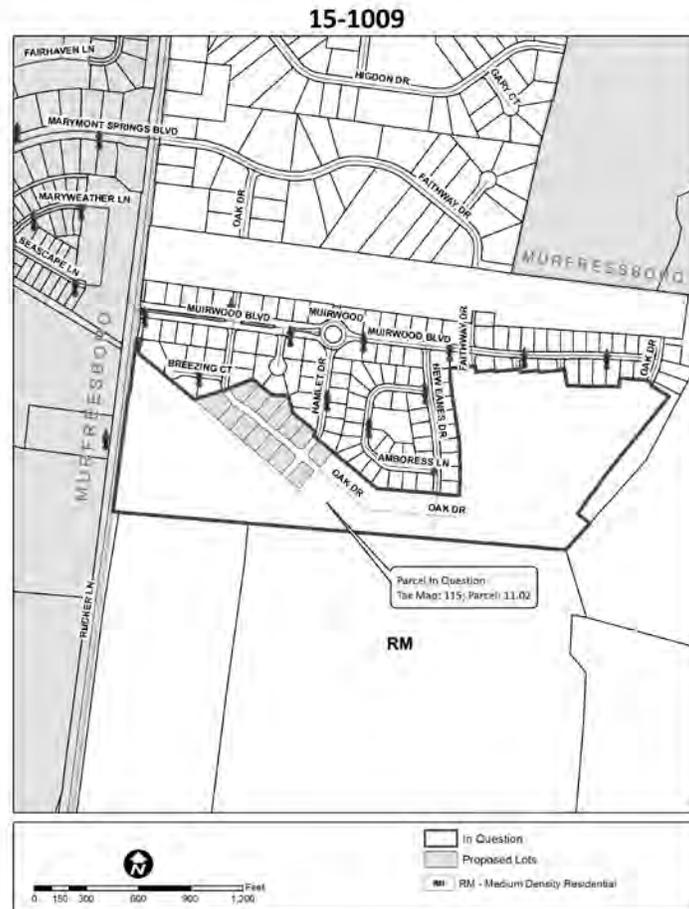
The subject property is located on the west side of Twin Oak Drive, across from the Hoover's Rock Quarry. The applicant proposes to develop a new subdivision on the property. The name of the subdivision will need to be changed, as there is already a Twin Oak Subdivision in existence. Information from Consolidated Utility District (CUD) indicates that the water lines in this area cannot support a fire hydrant. Therefore, the applicants have requested a fire hydrant waiver for this development. If the waiver is approved, all homes will have to be built with residential sprinkler systems. There are

also some lots that will have to be marked as critical lots due to sinkholes on the property. The final plat for Section 1 will be considered later in the agenda.

Any approval should be made subject to Staff Comments and the waiver being granted.

Rutherford County Regional Planning Commission June 22, 2015 Staff Comments

Plat/Plan Name: Muirwood Subdivision Section III, Phase 1 (15-1009)
Request: Preliminary Plan Approval
Site Details: 14 lots on 5.0 acres, zoned RM with a previously approved Conditional Use Permit for a Planned Development
Developer: Tennessee Contractors, Inc.
Property Location: Rucker Lane



The subject property is located on the east side of Rucker Lane. The applicant proposes to develop a new section of Muirwood Subdivision. The subdivision is served with sanitary sewer by the City of Murfreesboro. Therefore, City approval will be required for this project. Staff also has some questions about the drainage improvements proposed for this development and will elaborate more on this issue at the meeting. The conditions with the original planned development application will still apply for this section.

Any approval should be made subject to Staff Comments.

| # | DATE | REVISION DESCRIPTION |
|---|----------|---------------------------------|
| 1 | 08/13/12 | ADDRESSED CITY STAFF COMMENTS |
| 2 | 08/21/12 | ADDRESSED COUNTY STAFF COMMENTS |
| | | |
| | | |

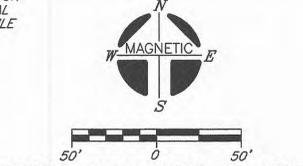


CONSTRUCTION PLANS
MUIRWOOD S/D
SECTION III
PHASE I
 12th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.
 DATE: AUGUST, 2012 SCALE 1"=50' SH. 3 OF 5



LEGEND

- ⊕ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- ⊕ Existing Manhole
- ⊕ Proposed Manhole
- ⊕ Sewer Line Check Dam
- ⊕ Existing Contours
- ⊕ Proposed Contours
- ⊕ Existing Spot Elevations
- ⊕ Proposed Spot Elevations
- ⊕ Situation Fence (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- ⊕ Turf Reinforcement Mat
- Existing Telephone & Electric Line
- Existing Underground Electric Line
- CMP — Corrugated Metal Pipe
- RCP — Reinforced Concrete Pipe

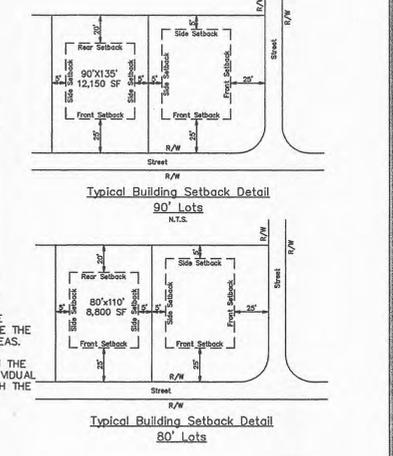


SECTION III, PHASE I: 14 LOTS - 5.0 ACRES±
 PHASE II: 27 LOTS - 14.5 ACRES±

LEGEND FOR MONUMENTS
 ⊕ IRON PIN SET
 ⊕ IRON PIN FIND
 ⊕ RAILROAD SPIKE
 ⊕ SURVEY POINT
 ⊕ NAIL
 ⊕ CONC. MARKER FIND.

APPROVED FOR CONSTRUCTION
 THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE
MURFREESBORO WATER AND SEWER DEPARTMENT
 UNDER THE AUTHORITY DELEGATED BY THE
 TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION
 DIVISION OF WATER POLLUTION CONTROL
 AND IS HEREBY APPROVED FOR CONSTRUCTION.
 THIS APPROVAL SHALL NOT BE CONSIDERED AS CREATING A PRESUMPTION
 OF CORRECT OPERATION OR AS WAIVING BY THE MURFREESBORO
 WATER AND SEWER DEPARTMENT THAT THE APPROVED FACILITIES
 WILL MEET THE DESIGNED GOALS.
 APPROVAL DATE: _____
 APPROVAL EXPIRES IN 12 MONTHS

NOTES:
 1. HOMEOWNERS ASSOCIATION TO BE CREATED FOR THE PURPOSE OF MANAGING THE COMMON AREAS TO INCLUDE THE ROUNDABOUT, MEDIAN IN THE BOULEVARD AND SIGN AREAS.
 2. ALL BUILDERS MUST FIRST RECEIVE APPROVAL FROM THE PLANNING STAFF PRIOR TO THE ISSUANCE OF EACH INDIVIDUAL BUILDING PERMIT IN ORDER TO ENSURE COMPLIANCE WITH THE ARCHITECTURAL REQUIREMENTS OF THE APPROVED PRD.



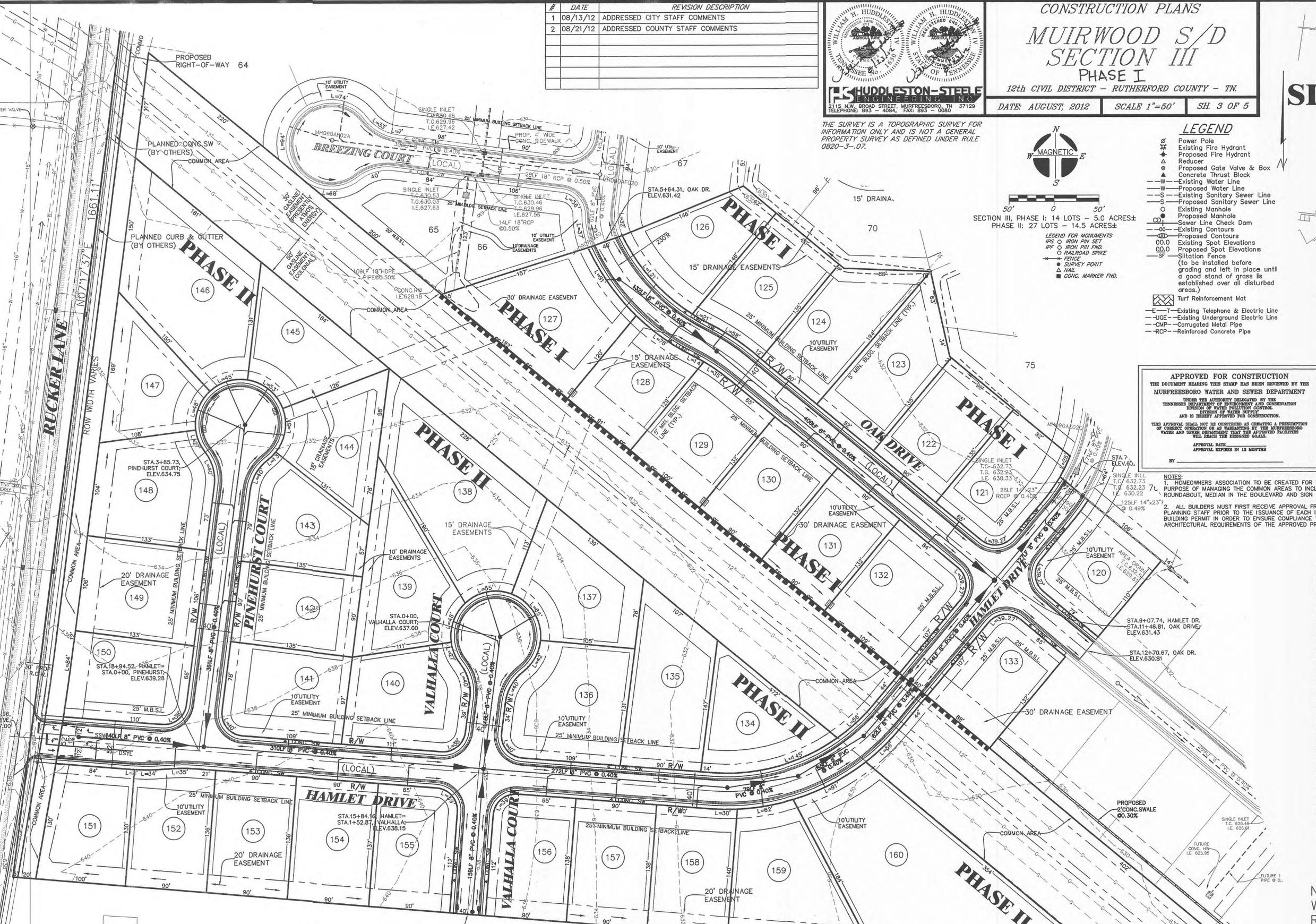
- WATER & SEWER NOTES**
- The complete specifications for the sewer lines, "Sewer Line Specifications and Drawings," November 25, 2009 ed., are on file at the Murfreesboro Water and Sewer Department Engineering Office, and can also be found online at <http://www.murfreesborotn.gov/default.asp?tab=manu-42&id=6123>.
 - Sewer construction must be in accordance with all MWSO specifications and drawings.
 - Contractor must have a State of Tennessee license, Municipal Utility (MU) classification, to perform work.
 - Any house or structure with a building drain connecting to the public sanitary sewer with a floor elevation at any point below the elevation of the center of the street may be subject to Murfreesboro City Code Section 35-35 (1)(1) which requires the owner(s) to execute a Release and Indemnification Agreement in favor of the City as a prerequisite to connecting to water and/or sewer services.
 - Trench check dams, as called out in the MWSO Specifications, are to be installed at the discretion of the Water & Sewer Department.
 - The existing sewer manholes and/or manholes must be tested and televised before and after construction. Should the sewer not be tested and televised prior to construction any defects found after construction will be the responsibility of the contractor to report at his or her expense.
 - All proposed manholes must be wrapped in a Conesol, or an approved equal, 12" minimum water and soil barrier wrap at each manhole section joint and at any other manhole component as directed by M.W.S.D.
 - No more than 25 percent of the dollar amount of the Contract may be awarded to subcontractors.
 - A maximum of 2 - 6" (6in.) adjustment rings will be allowed per any existing or proposed manhole associated with this installation. If any manhole requires adjustment beyond the 2 - 6" adjustment rings allowed then the contractor must remove, adjust, or add barrel sections to the manhole to get it to grade at his or her own expense.
 - This subdivision is in the Overall Creek Assessment District sanitary sewer special assessment district, a charge of \$1,000.00 per single family unit or equivalent will be charged in addition to all other sanitary sewer connection fees at the time the sewer connection fee is paid.
 - The owner/developer for budget purposes should contact M.W.S.D. for connection fees, which may be substantial.
 - Any tenants that are food service type must have a minimum of a 1000 gallon grease interceptor installed for each tenant. Plumbing should be installed in order to accommodate the required grease trap specifications.
 - Water service and water line design to be provided by C.U.D.
 - The owner/developer for budget purposes should contact C.U.D. for related fees to project which may be substantial.
 - All main waterline taps are to be made by C.U.D.
 - Contact Bill Dunnill with C.U.D. for water meter specifications. (615-867-7302)

NOTE: SEE CUD PLANS FOR WATER AND FIRE PROTECTION REQUIREMENTS AND LOCATIONS.

DEVELOPER: TENN. CONTRACTORS, INC.
 ADDRESS: P.O. BOX 314
 FRANKLIN, TN 37065-0314
 TAX MAP: 115 PARCEL: 11.00
 RECORD BOOK: 576, PAGE: 1302
 FLOOD MAP PANEL: 47149C 0255H ZONE: AE & X
 FLOOD MAP DATED: JANUARY 5, 2007
 NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

Certificate of Approval for Electric Power
 I hereby certify that the subdivision shown herein has been approved by the Murfreesboro Electric Department (MED) for electric power service, that the subdivision is within the service area of MED, and that MED is able to provide electric power service to the subdivision subject to the Owner complying with the applicable rules and regulations of MED. No electric power service will be provided until MED's requirements for electric power service have been met.
 Date: 8-22-2012
 Murfreesboro Electric Department Official

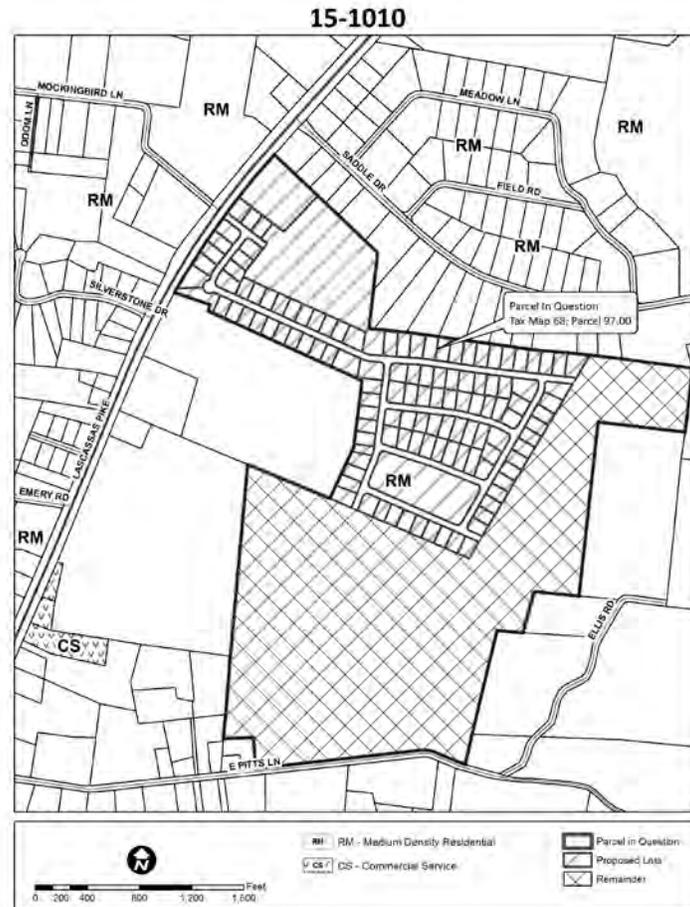
CERTIFICATE OF WATER
 I hereby certify that the subdivision plat entitled MUIRWOOD S/D, SECTION III has been approved by the engineers for Consolidated Utility District of Rutherford County for water service, provided, however, that the lines, valves, and fittings must be installed in accordance with C.U.D. specifications as determined by its engineers. No water service will be provided until that certification has been made in writing.
 Date: 8-22-12
 OFFICIAL, CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY



THE DUNNAN M. SMITH AND HELEN T. SMITH REVOCABLE TRUST
 NEED BOOK 551, PAGE 88
 Date: 8-22-2012
 MURFREESBORO WATER AND SEWER DEPARTMENT OFFICIAL

Rutherford County Regional Planning Commission June 22, 2015 Staff Comments

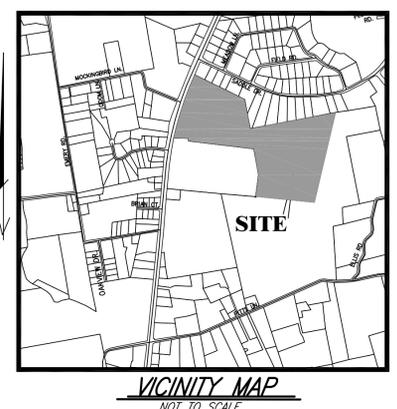
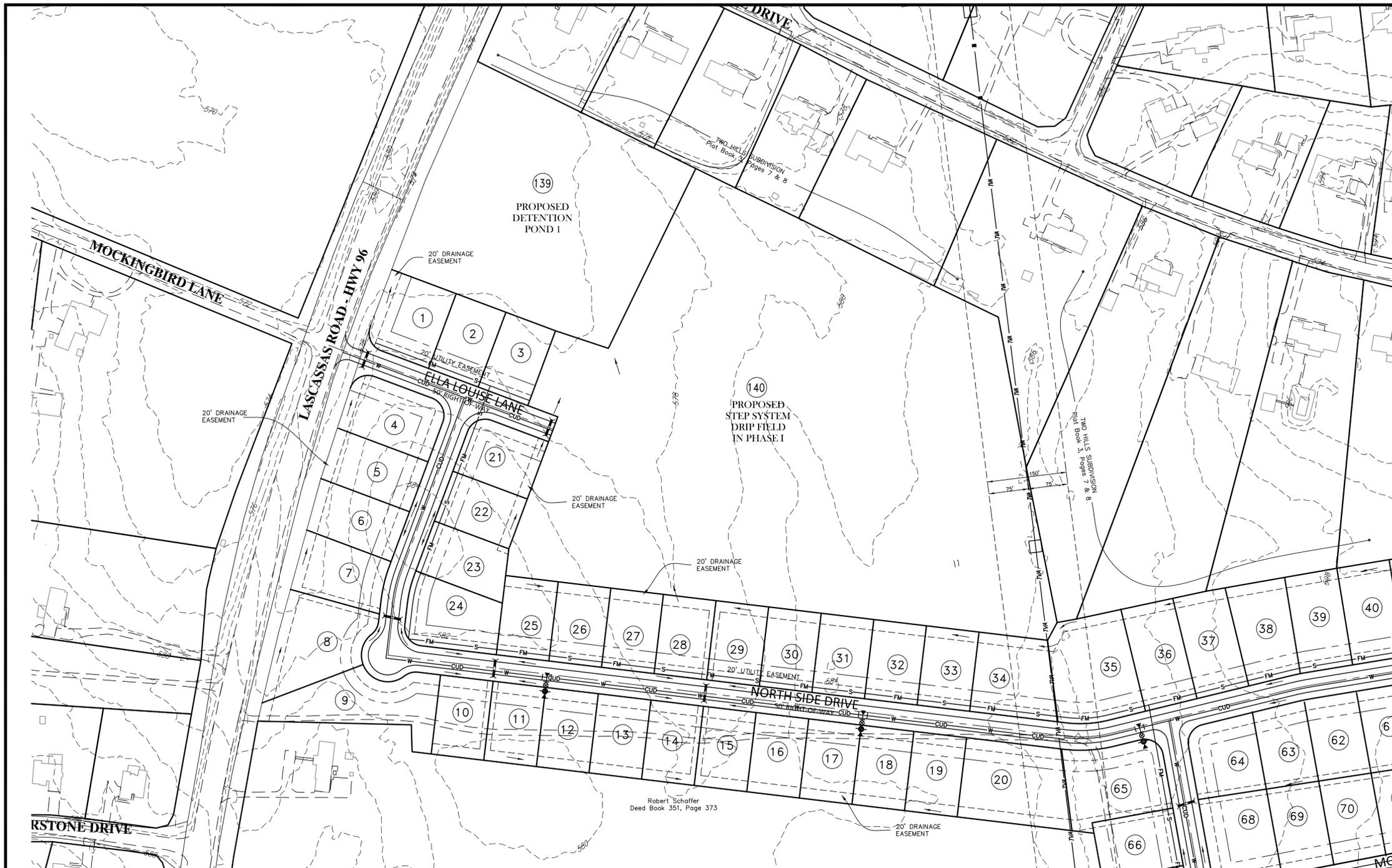
Plat/Plan Name: North Side Estates (15-1010)
Request: Preliminary Plan Approval
Site Details: 140 lots (138 buildable) on 185 acres, zoned RM
Developer: T&L Development
Property Location: Lascassas Pike



The subject property is located on the east side of Lascassas Pike and north side of East Pitts Lane. The applicant proposes to develop 140 residential lots on the property.

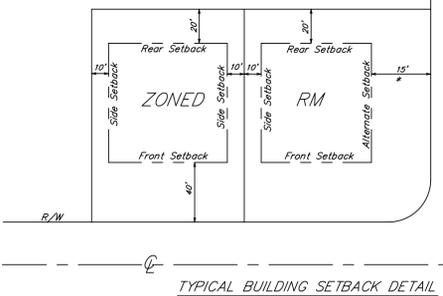
Staff has a number of questions about this development. It appears that only a portion of the property is being proposed to be developed. Staff is curious to know what the remainder of the property will be used for. If it's for more residential development, it should be included with this plan. As proposed, there is only one access into and out of the subdivision. While there are no specific requirements for the number of access points into a subdivision, Staff is concerned that a subdivision of this size only has one access. There are stub streets into what appears to be remaining property for the

development, but there are no stub streets onto adjacent properties. A traffic study will also need to be completed for this development, along with confirmation from Consolidated Utility District that water and STEP system capacity exist. Drainage issues also need to be addressed. If these issues aren't addressed to Staff's satisfaction prior to the Planning Commission meeting, this item will be removed from the agenda.



VICINITY MAP
NOT TO SCALE

ZONING: RM = Residential Medium-Density
 FRONT SETBACK: 40'
 SIDE SETBACK: 10'
 REAR SETBACK: 20'
 *Alternate Corner Setback = See Note 8



TYPICAL BUILDING SETBACK DETAIL

Robert Schaffer
 Deed Book 351, Page 373

PLAT NOTES

- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available above-ground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- It is the responsibility of each residential builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the house, from his structure to the drainage system constructed by the subdivision developer.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines. Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction.
- Subject property and all surrounding property are Zoned "RM" per the Rutherford County Regional Planning Commission.
- All lots shall be served by a sewage system located on Lot 77. A sign notifying the public that this subdivision is serviced by a decentralized sewer system shall be placed and maintained as indicated on the plat by the developer until all homes are built & occupied. C.U.D. access to the septic tank shall be unencumbered by fencing or landscaping. A permanent access easement exists on each lot of the septic tank location. This easement is intended to assure service and repair access to the septic tank.
- The applicable zoning ordinance allows for an alternate setback of 12 times the required side yard setback (15') for one street frontage on corner lots provided a rear setback is provided opposite the normal front setback on the other street frontage.
- Contact Consolidated Utility District for water line design, including water line sizes and fire hydrant locations. Water service, domestic and fire protection are provided by C.U.D. All main water line taps are to be made by C.U.D. The owner/developer for budget purposes should contact C.U.D. for related fees to project, which may be substantial. Contact Jennifer Wood with C.U.D. (615-225-3311) for water meter specifications. The developer must post bond, \$2,000 or \$250 for each valve box (whichever is greater), whenever the subject project has valve boxes that are located within pavement upon completion of the proposed water system extension.
- Any street in this subdivision may be extended into adjoining property at any time without additional notice or consultation. The streets identified on this plat may be constructed or reconstructed in the future without consultation or notice to the Owners of the lots in the subdivision.

LEGEND FOR MONUMENTS
 IPS O IRON PIN SET
 IPF O IRON PIN FND.
 O HALLS ROAD SPIKE
 FENCE
 SURVEY POINT
 CONC. MARKER FND.



138 RESIDENTIAL LOTS
 +2 COMMON AREA LOTS
 DEVELOPER: T & L DEVELOPMENT
 ATTENTION: JERAMIE TABER
 ADDRESS: 2630 MEMORIAL BOULEVARD
 MURFREESBORO, TN 37129
 TAX MAP: 68, PARCEL: 97
 RECORD BOOK 543, PG 2952
 FLOOD MAP PANEL: 47149C0164H
 FLOOD MAP DATED: JANUARY 5th, 2007
 ZONES: X

LEGEND

| | |
|-----|--------------------------------------------------------------------------------------------------------------------------------------------|
| ⊕ | Power Pole |
| ⊙ | Existing Fire Hydrant |
| ⊕ | Proposed Fire Hydrant |
| ⊕ | Reducer |
| ⊕ | Proposed Gate Valve & Box |
| ⊕ | Concrete Thrust Block |
| —W— | Existing Water Line |
| —W— | Proposed Water Line |
| —S— | Existing Sanitary Sewer Line |
| —S— | Proposed Sanitary Sewer Line |
| ○ | Existing Manhole |
| ○ | Proposed Manhole |
| — | Sewer Line Check Dam |
| — | Existing Contours |
| — | Proposed Contours |
| ⊕ | Existing Spot Elevations |
| ⊕ | Proposed Spot Elevations |
| — | Siltation Fence (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.) |
| — | Siltation Fence (Initial Measure) |
| — | Siltation Fence (Once Constructed) |
| — | Turf Reinforcement Mat |
| — | Stone Check Dam |

| NO. | DATE | DESCRIPTION |
|-----|----------|----------------|
| 1 | 06-05-15 | ORIGINAL ISSUE |

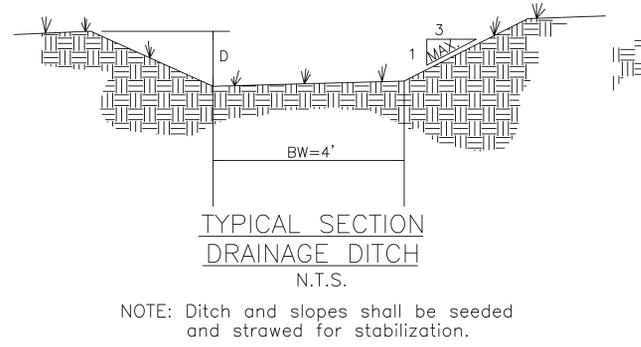
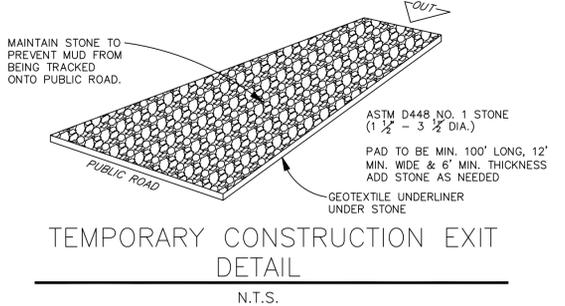
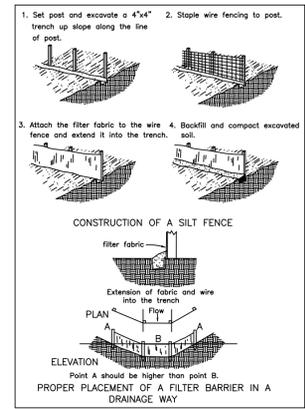
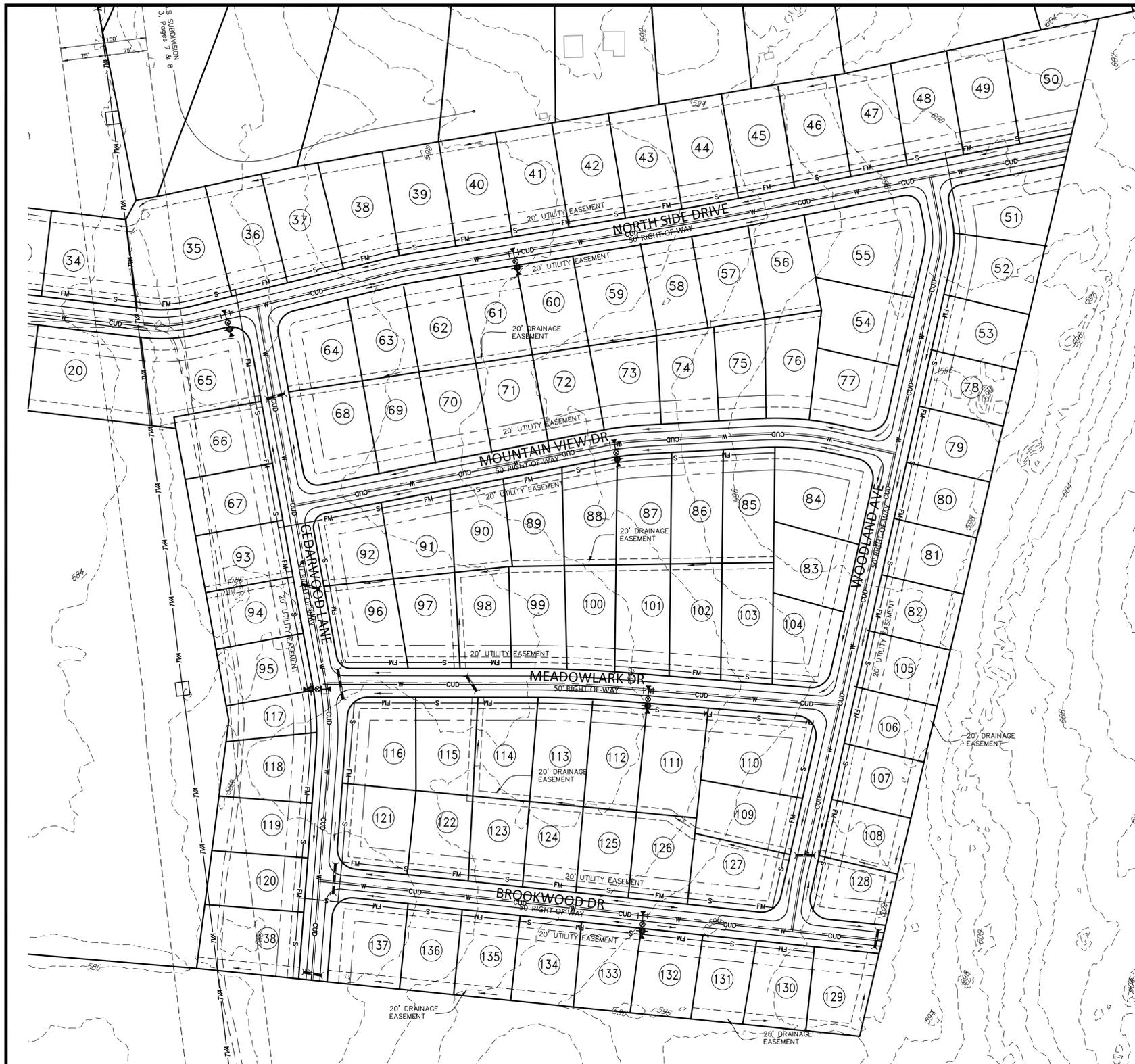
TOPOGRAPHIC INFORMATION SHOWN TAKEN FROM RUTHERFORD COUNTY GIS.

PRELIMINARY FOR REVIEW ONLY

HUDDLESTON-STEEL ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE : 893 - 4084, FAX: 893 - 0080

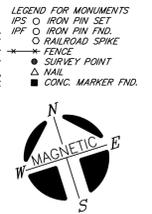
PRELIMINARY PLAN
NORTH SIDE ESTATES AT LASCASSAS ROAD MURFREESBORO, TN
 21st CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DATE: JUNE 2015 SCALE: 1" = 100' SH. 1 OF 2

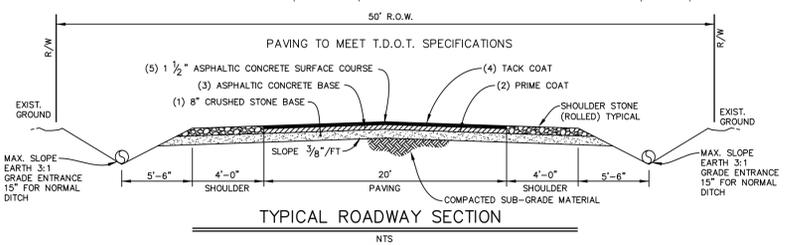


LEGEND

- ⊕ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- W— Existing Water Line
- W— Proposed Water Line
- S— Existing Sanitary Sewer Line
- S— Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- S— Sewer Line Check Dam
- S— Existing Contours
- S— Proposed Contours
- ⊕ Existing Spot Elevations
- ⊕ Proposed Spot Elevations
- S— Siltation Fence (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- S— Siltation Fence (Initial Measure)
- S— Siltation Fence (Once Constructed)
- Turf Reinforcement Mat
- Stone Check Dam



TOPOGRAPHIC INFORMATION SHOWN TAKEN FROM RUTHERFORD COUNTY GIS.



138 RESIDENTIAL LOTS
+2 COMMON AREA LOTS

DEVELOPER: T & L DEVELOPMENT
ATTENTION: JERAMIE TABER
ADDRESS: 2630 MEMORIAL BOULEVARD
MURFREESBORO, TN 37129
TAX MAP: 68, PARCEL: 97
RECORD BOOK 543, PG 2952
FLOOD MAP PANEL: 47149C0164H
FLOOD MAP DATED: JANUARY 5th, 2007
ZONES: X

PRELIMINARY FOR REVIEW ONLY

HUDDLESTON-STEEL ENGINEERING, INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: 893-4084, FAX: 893-0080

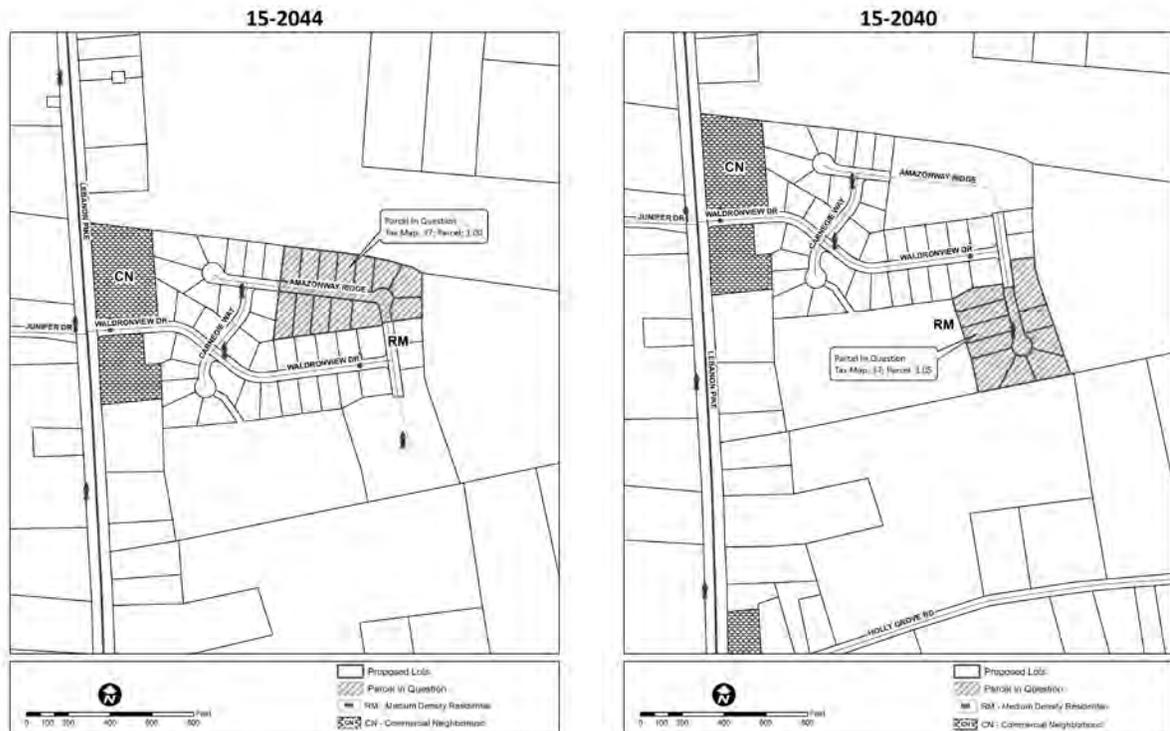
| NO. | DATE | DESCRIPTION |
|-----|----------|----------------|
| 1 | 06-05-15 | ORIGINAL ISSUE |
| | | |
| | | |

PRELIMINARY PLAN
NORTH SIDE ESTATES
AT LASCASSAS ROAD
MURFREESBORO, TN
21st CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DATE: JUNE 2015 SCALE: 1" = 100' SH. 2 OF 2

Rutherford County Regional Planning Commission June 22, 2015 Staff Comments

Plat/Plan Name: Waldron Crossing, Sections 4 and 5 (15-2044 and 15-2040)
Request: Final Plat Approval
Site Details: Section 4 – 13 lots on 5.6 acres, zoned RM
Section 5 – 11 lots on 5.1 acres, zoned RM
Developer: Waldron's Crossing, LLC
Property Location: Lebanon Pike



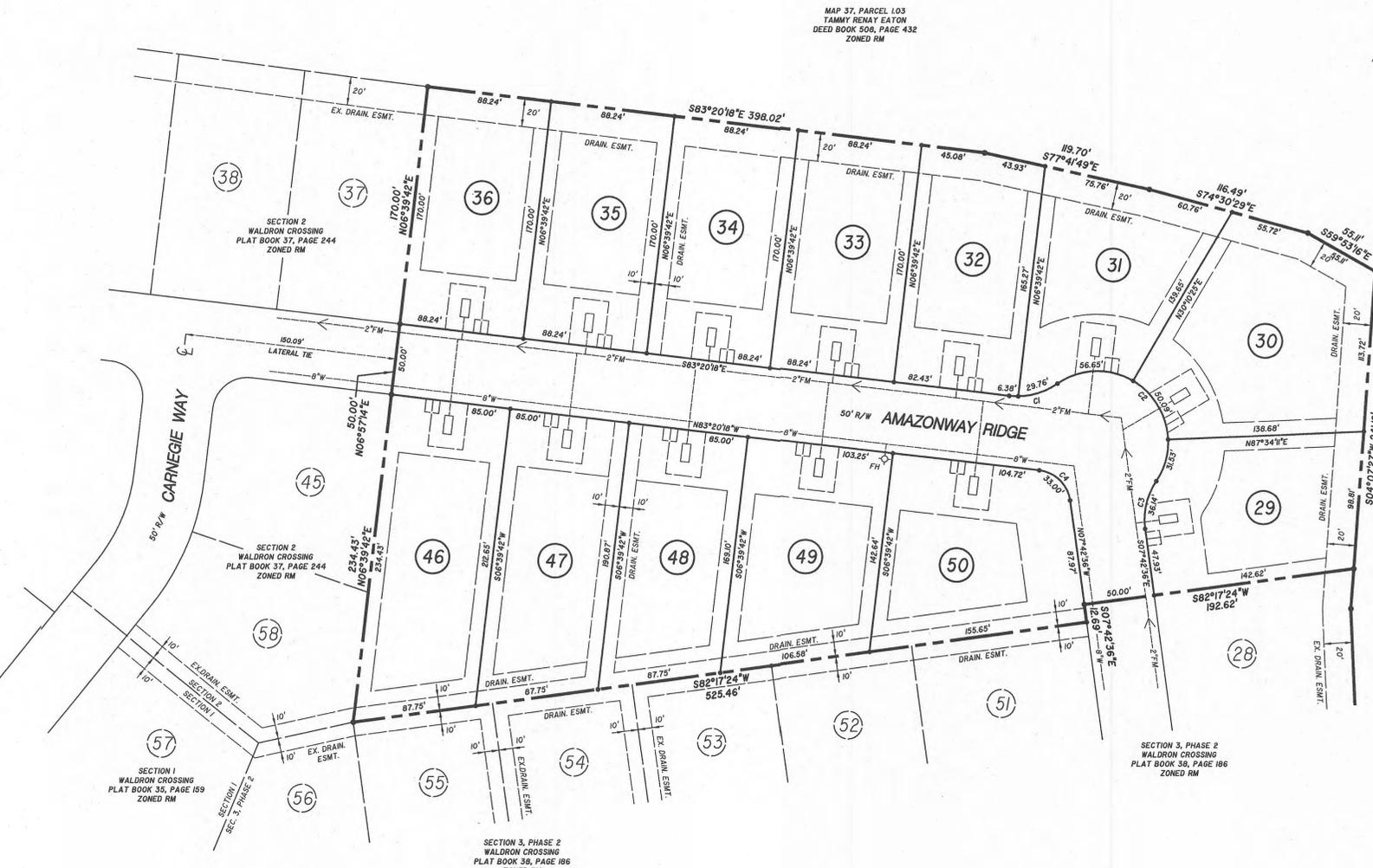
The subject properties are located on the east side of Lebanon Pike. The comments for both of these plats were practically identical, so Staff has decided to address them at the same time. Separate motions will still be required for each item.

These plats represent the last two sections of this subdivision. The plats are in good order with just minor revisions required.

Any approval should be made subject to Staff Comments.

GENERAL NOTES

- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 13 SINGLE FAMILY LOTS.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MONUMENTS UG02-592 & UG02-592AZ. (DAD 83-96 & MVD 68)
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN A 100 YEAR FLOOD HAZARD, PER FEMA FIRM MAPS FOR RUTHERFORD COUNTY, MAP NO. 4749C0154 H, & MAP NO. 4749C0153 H, EFFECTIVE DATE: JANUARY 3, 2007.
- PARCELS MAY BE SUBJECT TO ADDITIONAL EASEMENTS AND/OR RESTRICTIONS, BY RECORD OR PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
- IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER, WITHOUT FLOWING IN THE LOT OR UNDER THE HOUSE, FROM HIS STRUCTURE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- THE SOIL MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT. THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN 15 DAYS TO THE DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 60 DAYS.
- PROPERTIES ADJACENT TO THE SITE OF LAND SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, THIS MAY BE ACCOMPLISHED BY PRESERVING A WELL-VEGETATED BUFFER STRIP AROUND THE LOWER PERIMETER OF THE LAND DISTURBANCE; BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENT BARRIERS, FILTERS OR DIKES, OR SEDIMENT BASINS; OR BY A COMBINATION OF SUCH MEASURES.
- NO FILL MATERIAL, RUBBISH, OR BUILDING MAY BE PLACED IN ANY NATURAL DRAINAGE WAY, SUCH AS STREAM BEDS, SWIMHOLES, UNDERGROUND STREAMS OR CHANNELS, OR WET WEATHER STREAM BEDS OR FLOODWAYS.
- PUBLIC UTILITY EASEMENTS, IF AND WHERE SHOWN HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITIES AND DRAINAGE WAYS, INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.
- IN TENNESSEE IT IS A REQUIREMENT FOR THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-39-4888.
- PROPERTY IS CURRENTLY ZONED RM. ALL PROPERTY ADJACENT TO THIS SUBDIVISION IS CURRENTLY ZONED RM.
- MINIMUM SETBACKS FOR LOTS AS SHOWN HEREON UNLESS NOTED OTHERWISE: FRONT = 40 FT., SIDE = 10 FT., REAR = 20 FT. SIDE SETBACK ON CORNER LOTS CAN BE 15 TIMES THE SIDE SETBACK.
- A SIGN NOTIFYING THE PUBLIC THAT THIS SUBDIVISION IS SERVICED BY A DECENTRALIZED SEWER SYSTEM SHALL BE PLACED AND MAINTAINED BY THE DEVELOPER UNTIL ALL HOMES ARE BUILT AND OCCUPIED.
- C.U.D. ACCESS TO THE SEPTIC TANK SHALL BE UNENCUMBERED BY FENCING OR LANDSCAPING. A PERMANENT ACCESS EASEMENT EXISTS ON EACH LOT AT THE SEPTIC TANK LOCATION. THIS EASEMENT IS INTENDED TO ASSURE SERVICE AND REPAIR ACCESS TO THE SEPTIC TANK. SEE SEPTIC TANK EASEMENT DETAIL.
- SEPTIC TANKS SHALL BE SET ONLY AFTER THE BUILDING FOUNDATION HAS BEEN STARTED AND FINISHED YARD GRADE AT THE TANK CAN BE DETERMINED. TANK RISERS SHALL BE BETWEEN 18" AND 26 INCHES HIGH FROM THE TOP OF THE TANK.
- WATER LINE IS SHOWN FOR GRAPHICAL PURPOSES ONLY. PLEASE CONTACT CONSOLIDATED UTILITY DISTRICT (C.U.D.) FOR WATER LINE LOCATION, SIZE, AND PLACEMENT OF FIRE HYDRANTS.
- ALL FIRE HYDRANTS SHALL BE PLACED IN COORDINATION WITH CONSOLIDATED UTILITY DISTRICT.
- A WAIVER WAS GRANTED ON OCTOBER 8, 2007, FOR ONE ACCESS ONLY INTO THE SUBDIVISION.
- RESTRICTIVE COVENANTS APPLYING TO THE SUBDIVISION NAMED WALDRON CROSSING, WHICH ESTABLISHES THE HOMEOWNERS ASSOCIATION, IS RECORDED IN RECORD BOOK 104, PAGE 3833, AND AMENDED IN RECORD BOOK 104, PAGE 1854.



CERTIFICATE OF OWNERSHIP AND DEDICATION
I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.
DATE: _____
RECORD BOOK 732, PAGE 3122
MAX L. MOSS, JR., CHIEF MANAGER
WALDRON'S CROSSING LLC
A TENNESSEE LIMITED LIABILITY COMPANY

CERTIFICATE OF ACCURACY
I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE RUTHERFORD COUNTY, TENNESSEE, PLANNING COMMISSION, THAT THE PRECISION OF THE UNADJUSTED SURVEY IS 1/10,000 OR GREATER, AND THAT MONUMENTS HAVE BEEN WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE COUNTY ROAD COMMISSIONER OR COUNTY ENGINEER.
SEC. INC. _____
DATE: 6-05-15
David A. Parker
REGISTERED SURVEYOR
TENN. R.L.S. NO. 2381

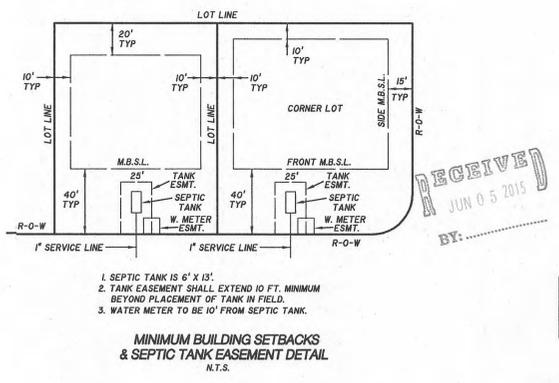
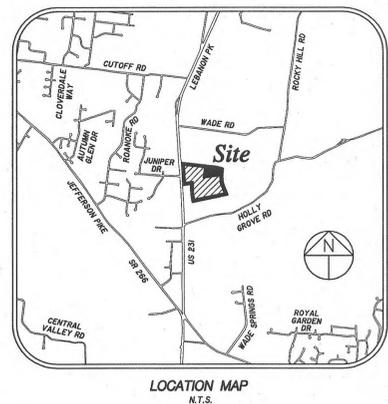
CERTIFICATION OF APPROVAL OF WATER SYSTEMS
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT ENTITLED "WALDRON CROSSING, SECTION 4" HAS BEEN APPROVED BY THE ENGINEERS OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY FOR WATER SERVICE, PROVIDED HOWEVER, THAT THE LINES, VALVES, AND FITTINGS MUST BE INSTALLED IN ACCORDANCE WITH C.U.D. SPECIFICATIONS AS DETERMINED BY ITS ENGINEERS. NO WATER SERVICE WILL BE PROVIDED UNTIL THAT CERTIFICATION HAS BEEN MADE IN WRITING.
DATE: _____
CONSOLIDATED UTILITY DISTRICT
OF RUTHERFORD COUNTY

CERTIFICATION OF APPROVAL OF SEWER S.T.E.P. SYSTEM
I HEREBY CERTIFY THAT THIS PLAT ENTITLED "WALDRON CROSSING, SECTION 4" HAS BEEN RECEIVED BY CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY FOR REVIEW. CONNECTION TO THE EXISTING SEPTIC TANK EFFLUENT PUMP (S.T.E.P.) SYSTEM SHALL MEET CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY'S SPECIFICATIONS. CONSTRUCTION WILL NOT START UNTIL A NOTICE TO PROCEED IS GIVEN BY C.U.D.
DATE: _____
CONSOLIDATED UTILITY DISTRICT
OF RUTHERFORD COUNTY

CERTIFICATE FOR APPROVAL OF ELECTRIC POWER
MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEMC AS DEFINED IN THE RULES AND REGULATIONS, BY-LAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEB SITE AT WWW.MTEMC.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEMC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.
DATE: _____
AUTHORIZED MTEMC OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDING
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RUTHERFORD COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER.
DATE: _____
SECRETARY, PLANNING COMMISSION

DATE OF RECORDING: _____
TIME OF RECORDING: _____
PLAT BOOK _____, PAGE _____

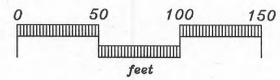


CURVE DATA

| CURVE | DELTA | RADIUS | LENGTH | TANGENT | CHORD | CHORD BEARING |
|-------|------------|--------|---------|---------|--------|---------------|
| C1 | 41°24'35" | 50.00' | 36.14' | 18.90' | 35.36' | N75°57'25"E |
| C2 | 150°26'51" | 50.00' | 138.27' | 262.70' | 98.24' | S45°31'27"E |
| C3 | 41°24'35" | 50.00' | 36.14' | 18.90' | 35.36' | S12°59'41"W |
| C4 | 75°37'42" | 25.00' | 33.00' | 19.40' | 30.66' | N45°31'27"W |

LOT AREAS

| LOT | SQ. FT. | ACRES |
|-----|---------|-------|
| 29 | 15,288 | 0.350 |
| 30 | 20,130 | 0.462 |
| 31 | 15,406 | 0.354 |
| 32 | 15,000 | 0.344 |
| 33 | 15,000 | 0.344 |
| 34 | 15,000 | 0.344 |
| 35 | 15,000 | 0.344 |
| 36 | 15,000 | 0.344 |
| 46 | 19,001 | 0.436 |
| 47 | 17,150 | 0.394 |
| 48 | 15,289 | 0.351 |
| 49 | 16,093 | 0.369 |
| 50 | 17,136 | 0.393 |



- LEGEND**
- IRON PIN (FOUND)
 - IRON PIN SET (NEW)
 - CONC. MONUMENT (FOUND)
 - WATER LINE w/FIRE HYD.
 - STEP SYSTEM FORCE MAIN

OWNER:
WALDRON'S CROSSING LLC
CONTACT: MAX MOSS, JR.
1728 SHAGBARK TRAIL
MURFREESBORO, TN 37130
MAP 67, P/O PARCEL 1
R.B.K. 732, PG. 3122

SITE DATA:
TOTAL AREA = 5.605 ACRES
AREA IN RIGHT-OF-WAY = 0.773 ACRES
NO. OF LOTS = 13
MINIMUM LOT SIZE = 15,000 SQ.FT.
ZONING = RM

FINAL PLAT
SECTION 4
WALDRON CROSSING
SUBDIVISION

15th CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. # 06160 DATE: 6-05-15 REVISIONS: FILE: WALDRONXINGPLAT-SEC4 DRAWN BY: ACAD/JWG SCALE: 1" = 50' SHEET 1 OF 1

152044

GENERAL NOTES

- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 11 SINGLE FAMILY LOTS.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MONUMENTS U6802-592 & U6802-592AZ, (WAD 83-36 & WAD 83)
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN A 100 YEAR FLOOD HAZARD AREA, PER FEMA FIRM MAPS FOR RUTHERFORD COUNTY, MAP NO. 4749C034 H, & MAP NO. 4749C033 H, EFFECTIVE DATE: JANUARY 3, 2007.
- PARCELS MAY BE SUBJECT TO ADDITIONAL EASEMENTS AND/OR RESTRICTIONS, BY RECORD OR PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
- IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE HOUSE, FROM HIS STRUCTURE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDEED AREAS WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN 15 DAYS TO THE DENUDEED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 60 DAYS.
- PROPERTIES ADJACENT TO THE SITE OF LAND SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, THIS MAY BE ACCOMPLISHED BY PRESERVING A WELL-VEGETATED BUFFER STRIP AROUND THE LOWER PERIMETER OF THE LAND DISTURBANCE, BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENT BARRIERS, FILTERS OR DICES, OR SEDIMENT BASINS, OR BY A COMBINATION OF SUCH MEASURES.
- NO FILL MATERIAL, RUBBISH, OR BUILDING MAY BE PLACED IN ANY NATURAL DRAINAGE WAY, SUCH AS STREAM BEDS, SINKHOLES, UNDERGROUND STREAMS OR CHANNELS, OR WET WEATHER STREAM BEDS OR FLOODWAYS.
- PUBLIC UTILITY EASEMENTS, IF AND WHERE SHOWN HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITIES AND DRAINAGE WAYS, INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.
- IN TENNESSEE IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-3111.
- PROPERTY IS CURRENTLY ZONED RM. ALL PROPERTY ADJACENT TO THIS SUBDIVISION IS CURRENTLY ZONED RM.
- MINIMUM SETBACKS FOR LOTS AS SHOWN HEREON UNLESS NOTED OTHERWISE: FRONT = 40 FT., SIDE = 10 FT., REAR = 20 FT. SIDE SETBACK ON CORNER LOTS CAN BE 15 TIMES THE SIDE SETBACK.
- A SIGN NOTIFYING THE PUBLIC THAT THIS SUBDIVISION IS SERVICED BY A DECENTRALIZED SEWER SYSTEM SHALL BE PLACED AND MAINTAINED BY THE DEVELOPER UNTIL ALL HOMES ARE BUILT AND OCCUPIED.
- C.U.D. ACCESS TO THE SEPTIC TANK SHALL BE UNENCUMBERED BY FENCING OR LANDSCAPING. A PERMANENT ACCESS EASEMENT EXISTS ON EACH LOT AT THE SEPTIC TANK LOCATION. THIS EASEMENT IS INTENDED TO ASSURE SERVICE AND REPAIR ACCESS TO THE SEPTIC TANK. SEE SEPTIC TANK EASEMENT DETAIL.
- SEPTIC TANKS SHALL BE SET ONLY AFTER THE BUILDING FOUNDATION HAS BEEN STARTED AND FINISHED YARD GRADE AT THE TANK CAN BE DETERMINED. TANK RISERS SHALL BE BETWEEN 18" AND 26" INCHES HIGH FROM THE TOP OF THE TANK.
- WATER LINE IS SHOWN FOR GRAPHICAL PURPOSES ONLY. PLEASE CONTACT CONSOLIDATED UTILITY DISTRICT (C.U.D.) FOR WATER LINE LOCATION, SIZE, AND PLACEMENT OF FIRE HYDRANTS.
- ALL FIRE HYDRANTS SHALL BE PLACED IN COORDINATION WITH CONSOLIDATED UTILITY DISTRICT.
- A WAIVER WAS GRANTED ON OCTOBER 8, 2007, FOR ONE ACCESS ONLY INTO THE SUBDIVISION.
- RESTRICTIVE COVENANTS APPLYING TO THE SUBDIVISION NAMED WALDRON CROSSING, WHICH ESTABLISHES THE HOMEOWNERS ASSOCIATION, IS RECORDED IN RECORD BOOK 104, PAGE 3839, AND AMENDED IN RECORD BOOK 150, PAGE 1854.

*** MINIMUM BUILDING PAD ELEVATIONS**
 THESE LOTS ARE NOT IN A F.E.M.A. 100 YEAR FLOOD HAZARD AREA. MINIMUM BUILDING PAD ELEVATIONS ARE REQUIRED FOR THESE LOTS TO PROTECT THE HOMEOWNERS FROM POSSIBLE HIGH WATER IN LOCAL DRAINAGE SYSTEMS.



CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (WE) HEREBY CERTIFY THAT I (AM (ARE)) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISHING THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____
 RECORD BOOK 732, PAGE 3122
 MAX L. MOSS, JR., CHIEF MANAGER
 WALDRON'S CROSSING LLC
 A TENNESSEE LIMITED LIABILITY COMPANY

CERTIFICATE OF ACCURACY
 I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE RUTHERFORD COUNTY, TENNESSEE, PLANNING COMMISSION, THAT THE PRECISION OF THE UNADJUSTED SURVEY IS 1/10,000 OR GREATER, AND THAT MONUMENTS HAVE BEEN/ WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE COUNTY ROAD COMMISSIONER OR COUNTY ENGINEER.

SEC. INC. _____
 DATE: 6-2-15
 David A. Parker
 REGISTERED SURVEYOR
 TENN. R.L.S. No. 2381

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT ENTITLED "WALDRON CROSSING, SECTION 5" HAS BEEN APPROVED BY THE ENGINEERS OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY FOR WATER SERVICE, PROVIDED HOWEVER, THAT THE LINES, VALVES, AND FITTINGS MUST BE INSTALLED IN ACCORDANCE WITH C.U.D. SPECIFICATIONS AS DETERMINED BY ITS ENGINEERS. NO WATER SERVICE WILL BE PROVIDED UNTIL THAT CERTIFICATION HAS BEEN MADE IN WRITING.

DATE: _____
 CONSOLIDATED UTILITY DISTRICT
 OF RUTHERFORD COUNTY

CERTIFICATE OF APPROVAL OF SEWER S.T.E.P. SYSTEM
 I HEREBY CERTIFY THAT THIS PLAT ENTITLED "WALDRON CROSSING, SECTION 5" HAS BEEN RECEIVED BY CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY FOR REVIEW, CONNECTION TO THE EXISTING SEPTIC TANK EFFLUENT PUMP (S.T.E.P.) SYSTEM SHALL MEET CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY'S SPECIFICATIONS. CONSTRUCTION WILL NOT START UNTIL A NOTICE TO PROCEED IS GIVEN BY C.U.D.

DATE: _____
 CONSOLIDATED UTILITY DISTRICT
 OF RUTHERFORD COUNTY

CERTIFICATE OF APPROVAL OF ELECTRIC POWER
 MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEMC AS DEFINED IN THE RULES AND REGULATIONS, BY-LAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEB SITE AT WWW.MTEMC.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEMC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.

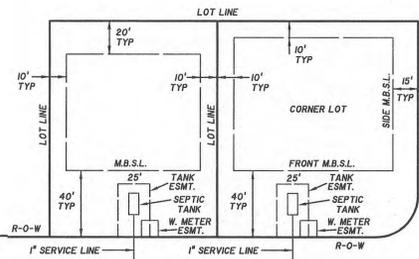
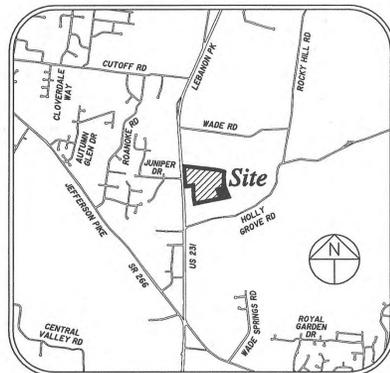
DATE: _____
 AUTHORIZED MTEMC OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDING
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RUTHERFORD COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER.

DATE: _____
 SECRETARY, PLANNING COMMISSION

LEGEND

- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- CONC. MONUMENT (FOUND)
- WATER LINE w/FIRE HYD.
- 2"FM STEP SYSTEM FORCE MAIN



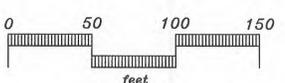
- SEPTIC TANK IS 6' X 10'.
- TANK EASEMENT SHALL EXTEND 10 FT. MINIMUM BEYOND PLACEMENT OF TANK IN FIELD.
- WATER METER TO BE 10' FROM SEPTIC TANK.

LOT AREAS

| LOT | SQ. FT. | ACRES |
|-----|---------|-------|
| 16 | 20,091 | 0.461 |
| 17 | 18,819 | 0.432 |
| 18 | 16,285 | 0.420 |
| 19 | 17,015 | 0.391 |
| 20 | 26,855 | 0.652 |
| 21 | 15,443 | 0.355 |
| 22 | 21,734 | 0.499 |
| 23 | 15,709 | 0.361 |
| 24 | 15,065 | 0.346 |
| 25 | 15,083 | 0.346 |
| 26 | 15,051 | 0.346 |

CURVE DATA

| CURVE | DELTA | RADIUS | LENGTH | TANGENT | CHORD | CHORD BEARING |
|-------|------------|---------|---------|---------|--------|---------------|
| C1 | 7°54'57" | 125.00' | 17.27' | 8.65' | 17.26' | S11°40'05"E |
| C2 | 41°24'35" | 80.00' | 36.14' | 18.90' | 35.36' | S36°19'50"E |
| C3 | 262°49'09" | 50.00' | 229.35' | 56.69' | 75.00' | S74°22'27"W |
| C4 | 41°24'35" | 80.00' | 36.14' | 18.90' | 35.36' | N03°04'44"E |
| C5 | 7°54'57" | 125.00' | 24.18' | 12.11' | 24.16' | N11°40'05"W |



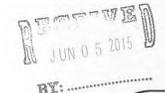
LINE DATA

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | S07°42'36"E | 20.49' |
| L2 | N88°17'24"E | 50.00' |
| L3 | S07°42'36"E | 20.68' |
| L4 | N07°42'36"W | 20.68' |

OWNER:
 WALDRON'S CROSSING LLC
 CONTACT: MAX MOSS, JR.
 1728 SHAGBARK TRAIL
 MURFREESBORO, TN 37130
 MAP 67, P/O PARCEL 1
 R.B.K. 732, PG. 3122

SITE DATA:
 TOTAL AREA = 5,080 ACRES
 AREA IN RIGHT-OF-WAY = 0.462 ACRES
 NO. OF LOTS = 11
 MINIMUM LOT SIZE = 15,000 SQ.FT.
 ZONING = RM

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK _____, PAGE _____



FINAL PLAT
SECTION 5
WALDRON CROSSING
SUBDIVISION

15th CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE

SEC, Inc. SITE ENGINEERING CONSULTANTS

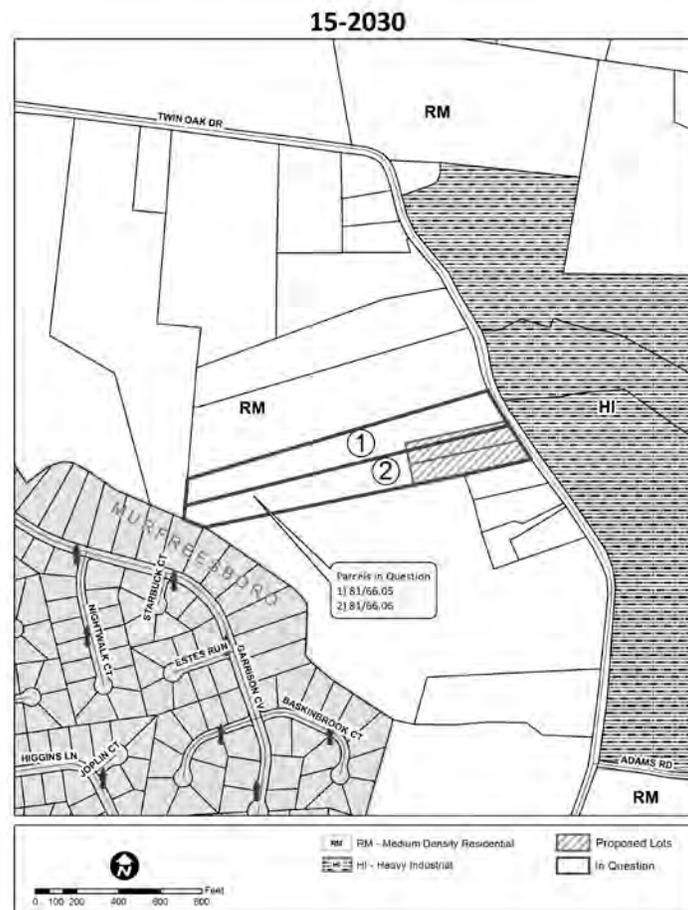
ENGINEERING • SURVEYING • LAND PLANNING
 850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
 PHONE (615) 890-7901 • FAX (615) 895-2567

| PROJ. # | DATE | FILE | DRAWN BY | SCALE | SHEET |
|---------|---------|----------------------|----------|----------|--------|
| 06160 | 6-05-15 | WALDRONXINGPLAT SEC5 | ACAD/JWG | 1" = 50' | 1 OF 1 |

15-2040

Rutherford County Regional Planning Commission June 22, 2015 Staff Comments

Plat/Plan Name: Twin Oak Subdivision, Section 1 (15-2030)
Request: Final Plat Approval – Includes a waiver to the fire hydrant requirements
Site Details: 2 lots on 2.4 acres, zoned RM
Developer: Michael's Homes
Property Location: Twin Oak Drive



The subject property is located on the west side of Twin Oak Drive. The preliminary plan for this subdivision was considered earlier on the agenda. Both of these lots may have some impact from sinkholes on the property and should be labeled as critical lots. If approved, a fire hydrant waiver will be required, as the water line in the area cannot support a fire hydrant. Consistent with the preliminary plan, these lots would require residential sprinkler systems since they are part of the larger subdivision.

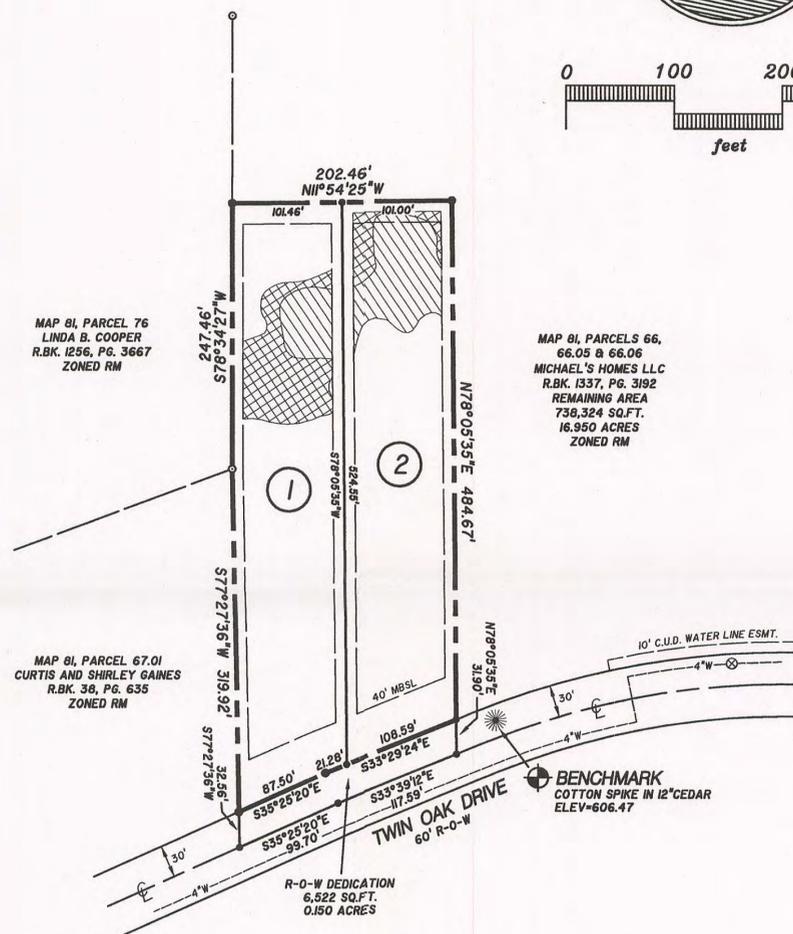
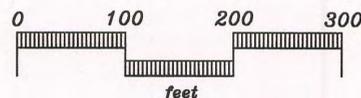
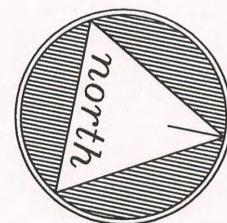
Any approval should be made subject to Staff Comments and the waiver being granted.

GENERAL NOTES

- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 2 SINGLE FAMILY LOTS.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO UGB MONUMENT UGB02-157, (NAD 83-96).
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, PER FEMA FIRM MAP NOS. 47149C0164 H & 47149C0280 H, EFFECTIVE DATE JANUARY 5, 2007.
- PARCELS MAY BE SUBJECT TO ADDITIONAL EASEMENTS AND/OR RESTRICTIONS, BY RECORD OR PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
- IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE HOUSE, FROM HIS STRUCTURE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN 15 DAYS TO THE DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 60 DAYS.
- PROPERTIES ADJACENT TO THE SITE OF LAND SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, THIS MAY BE ACCOMPLISHED BY PRESERVING A WELL-VEGETATED BUFFER STRIP AROUND THE LOWER PERIMETER OF THE LAND DISTURBANCE; BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENT BARRIERS, FILTERS OR DIKES, OR SEDIMENT BASINS; OR BY A COMBINATION OF SUCH MEASURES.
- NO FILL MATERIAL, RUBBISH, OR BUILDING MAY BE PLACED IN ANY NATURAL DRAINAGE WAY, SUCH AS STREAM BEDS, SINKHOLES, UNDERGROUND STREAMS OR CHANNELS, OR WET WEATHER STREAM BEDS OR FLOODWAYS.
- PUBLIC UTILITY EASEMENTS, IF AND WHERE SHOWN HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITIES AND DRAINAGE WAYS, INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.
- IN TENNESSEE IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
- PROPERTY IS CURRENTLY ZONED RM.
ALL PROPERTY ADJACENT TO THIS SUBDIVISION IS CURRENTLY ZONED RM.
- MINIMUM SETBACKS FOR LOTS AS SHOWN HEREON UNLESS NOTED OTHERWISE:
FRONT = 40 ft. / SIDE = 10 ft. (15' ADJ. TO R/W) / REAR = 20 ft.
- WATER LINE IS SHOWN FOR GRAPHICAL PURPOSES ONLY. PLEASE CONTACT CONSOLIDATED UTILITY DISTRICT (C.U.D.) FOR WATER LINE LOCATION, SIZE, AND PLACEMENT OF FIRE HYDRANTS.
- ALL FIRE HYDRANTS SHALL BE PLACED IN COORDINATION WITH CONSOLIDATED UTILITY DISTRICT.

LOT AREAS

| LOT NO. | LOT SQ.FT. | LOT ACRES | SOILS AREAS | | |
|---------|------------|-----------|--------------|------------------|---------------|
| | | | SQ.FT. TOTAL | SQ.FT. 45/60 MPI | SQ.FT. 75 MPI |
| 1 | 55,750 | 1.280 | 9,645 | 2,927 | 6,718 |
| 2 | 50,946 | 1.170 | 8,489 | 6,774 | 1,715 |



LEGEND

- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- 6" W — WATER LINE w/FIRE HYD.



SOILS LEGEND

- 30/45/60 MPI SOILS ARE SUITABLE FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS.
- 75 MPI SOILS ARE MARGINALLY SUITABLE FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS.

TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION NOTES:
 1. ALL LOTS ARE APPROVED FOR _____ BEDROOMS USING CONVENTIONAL SYSTEMS ONLY. LOTS CAN BE REVIEWED ON A LOT BY LOT BASIS.
 2. SHADED AREAS ARE RESERVED FOR SUBSURFACE SEWAGE DISPOSAL ONLY. KEEP ALL BUILDINGS, DRIVEWAYS AND UNDERGROUND UTILITIES OUTSIDE THE SHADED SOILS AREAS. ANY ENCROACHMENT OF THESE AREAS MAY VOID LOT APPROVAL.

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK _____, PAGE _____

OWNER:
 MICHAEL'S HOMES, LLC
 CONTACT: MITCHELL BOWMAN
 1980 OLD FORT PKWY.
 MURFREESBORO, TN 37128
 MAP 81, P/O PARCEL 66.06
 R.B.K. 1337, PG. 3192

SITE DATA:
 TOTAL AREA = 2.449 ACRES
 AREA IN RIGHT-OF-WAY = 0.150 ACRES
 NO. OF LOTS = 2
 MINIMUM LOT SIZE = 15,000 SQ.FT.
 ZONING = RM

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE _____ AUTHORIZED AGENT
 RECORD BOOK 680, PAGE 3622 RCK JOINT VENTURE

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE RUTHERFORD COUNTY, TENNESSEE, PLANNING COMMISSION, THAT THE PRECISION OF THE UNADJUSTED SURVEY IS 1/10,000 OR GREATER, AND THAT MONUMENTS HAVE BEEN/WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE COUNTY ROAD COMMISSIONER OR COUNTY ENGINEER.

SEC, INC.
 DATE _____ REGISTERED SURVEYOR
 TENN. R.L.S. No. _____

CERTIFICATE OF APPROVAL FOR WATER SYSTEMS

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT ENTITLED "TWIN OAKS, LOTS 1 & 2" HAS BEEN APPROVED BY THE ENGINEERS OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY FOR WATER SERVICE, PROVIDED HOWEVER, THAT THE LINES, VALVES, AND FITTINGS MUST BE INSTALLED IN ACCORDANCE WITH C.U.D. SPECIFICATIONS AS DETERMINED BY ITS ENGINEERS. NO WATER SERVICE WILL BE PROVIDED UNTIL THAT CERTIFICATION HAS BEEN MADE IN WRITING.

DATE _____ CONSOLIDATED UTILITY DISTRICT
 OF RUTHERFORD COUNTY

CERTIFICATE FOR APPROVAL OF ELECTRIC POWER

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEMC AS DEFINED IN THE RULES AND REGULATIONS, BY-LAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEB SITE AT WWW.MTEMC.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEMC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.

DATE _____ AUTHORIZED MTEMC OFFICIAL

CERTIFICATION OF GENERAL APPROVAL FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS WITH RESTRICTIONS

GENERAL APPROVAL IS HEREBY GRANTED FOR LOTS PROPOSED HEREON AS BEING SUITABLE FOR SUBSURFACE SEWAGE DISPOSAL WITH THE LISTED AND/OR ATTACHED RESTRICTION. BEFORE THE INITIATION OF CONSTRUCTION, THE LOCATION OF THE HOUSE OR OTHER STRUCTURES AND PLANS FOR THE SUBSURFACE SEWAGE DISPOSAL SHALL BE APPROVED BY THE LOCAL HEALTH AUTHORITY.

DATE _____ T.D.E.C./D.W.R.

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RUTHERFORD COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER.

DATE _____ SECRETARY, PLANNING COMMISSION

FINAL PLAT

**Lots 1 & 2
 TWIN OAKS
 SUBDIVISION**

21st CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE



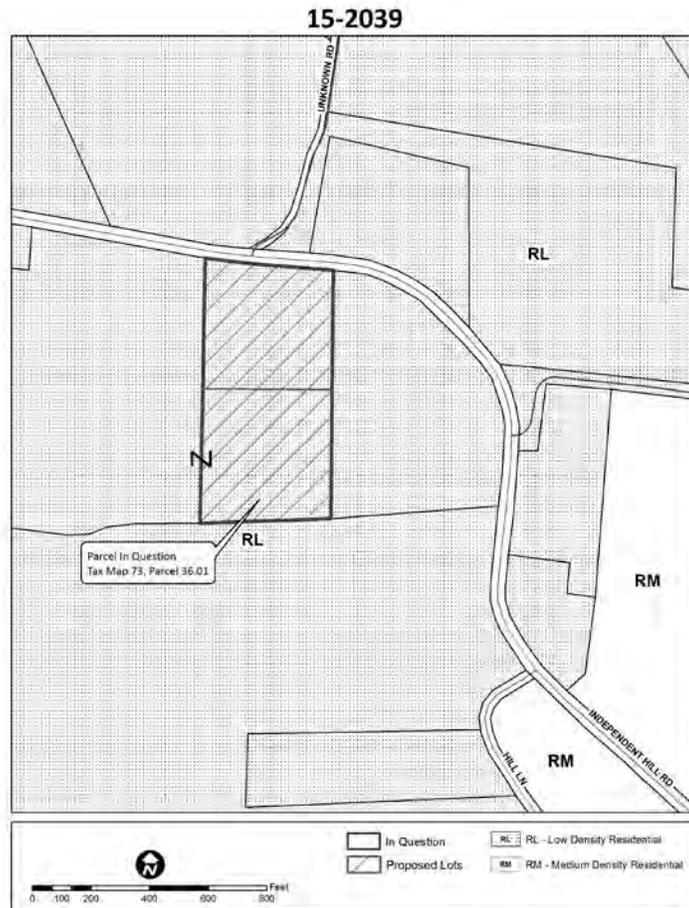
SITE ENGINEERING CONSULTANTS

ENGINEERING • SURVEYING • LAND PLANNING
 850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
 PHONE (615) 890-7901 • FAX (615) 895-2567

15-2030

Rutherford County Regional Planning Commission June 22, 2015 Staff Comments

Plat/Plan Name: Welch Subdivision (15-2039)
Request: Final Plat Approval – Includes waiver requests to the fire hydrant, easement width and minimum acreage on a private easement requirements
Site Details: 2 lots on 8.9 acres, zoned RM
Developer: Albert Green C/O Jamie Reed
Property Location: Independent Hill Road



The subject property is located on the south side of Independent Hill Road. Lot 1 contains an existing house that will remain. The applicant is proposing to subdivide approximately 4.5 acres off the existing 8.9 acre tract (Lot 2) and combine it with property to the west. Staff understands that this transfer will occur at some point in the future, but not immediately. Since a new lot is being created, it has to meet County Subdivision Regulations requirements. The site will not meet the minimum size of a tract on a private easement (5 acres), the minimum size of an access easement (50 feet),

nor will either lot meet the fire hydrant requirements. When the property is eventually transferred, most of these waivers will become moot as the property will be part of a larger tract (Approximately 250 acres). The fire hydrant waiver for Lot 1 will still be required.

Any approval should be made subject to Staff Comments and the waivers being granted.

GENERAL NOTES

- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 4.32 ACRE RESIDENTIAL LOT AND A 4.545 ACRE NON-BUILDABLE LOT TO BE COMBINED WITH MAP 73, PARCEL 36.00.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO RUTHERFORD COUNTY CONTROL MONUMENT RCC-000, (NAD 83-96).
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, PER FEMA FIRM MAP NO. 4749COHSH, EFFECTIVE DATE JANUARY 5, 2007.
- PARCELS MAY BE SUBJECT TO ADDITIONAL EASEMENTS AND/OR RESTRICTIONS, BY RECORD OR PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
- IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE HOUSE, FROM HIS STRUCTURE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN 15 DAYS TO THE DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 60 DAYS.
- PROPERTIES ADJACENT TO THE SITE OF LAND SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, THIS MAY BE ACCOMPLISHED BY PRESERVING A WELL-VEGETATED BUFFER STRIP AROUND THE LOWER PERIMETER OF THE LAND DISTURBANCE; BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENT BARRIERS, FILTERS OR DIKES, OR SEDIMENT BASINS; OR BY A COMBINATION OF SUCH MEASURES.
- NO FILL MATERIAL, RUBBISH, OR BUILDING MAY BE PLACED IN ANY NATURAL DRAINAGE WAY, SUCH AS STREAM BEDS, SINKHOLES, UNDERGROUND STREAMS OR CHANNELS, OR WET WEATHER STREAM BEDS OR FLOODWAYS.
- PUBLIC UTILITY EASEMENTS, IF AND WHERE SHOWN HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITIES AND DRAINAGE WAYS, INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.
- IN TENNESSEE IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
- PROPERTY IS CURRENTLY ZONED RM. ALL PROPERTY ADJACENT TO THIS SUBDIVISION IS CURRENTLY ZONED RM.
- MINIMUM SETBACKS FOR LOTS AS SHOWN HEREON UNLESS NOTED OTHERWISE: FRONT = 40 FT. / SIDE = 10 FT. / REAR = 20 FT.
- WATER LINE IS SHOWN FOR GRAPHICAL PURPOSES ONLY. PLEASE CONTACT CONSOLIDATED UTILITY DISTRICT (C.U.D.) FOR WATER LINE LOCATION, SIZE, AND PLACEMENT OF FIRE HYDRANTS.
- ALL FIRE HYDRANTS SHALL BE PLACED IN COORDINATION WITH CONSOLIDATED UTILITY DISTRICT.

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE RUTHERFORD COUNTY, TENNESSEE, PLANNING COMMISSION, THAT THE PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER, AND THAT MONUMENTS HAVE BEEN/WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE COUNTY ROAD COMMISSIONER OR COUNTY ENGINEER.

DATE 6-5-15 Thomas G. Rose
 TENN. R.L.S. No. 1805 REGISTERED SURVEYOR



DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK _____, PAGE _____



SOILS LEGEND

- 30/45/60 MPI SOILS ARE SUITABLE FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS.
- 75 MPI SOILS ARE MARGINALLY SUITABLE FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS.

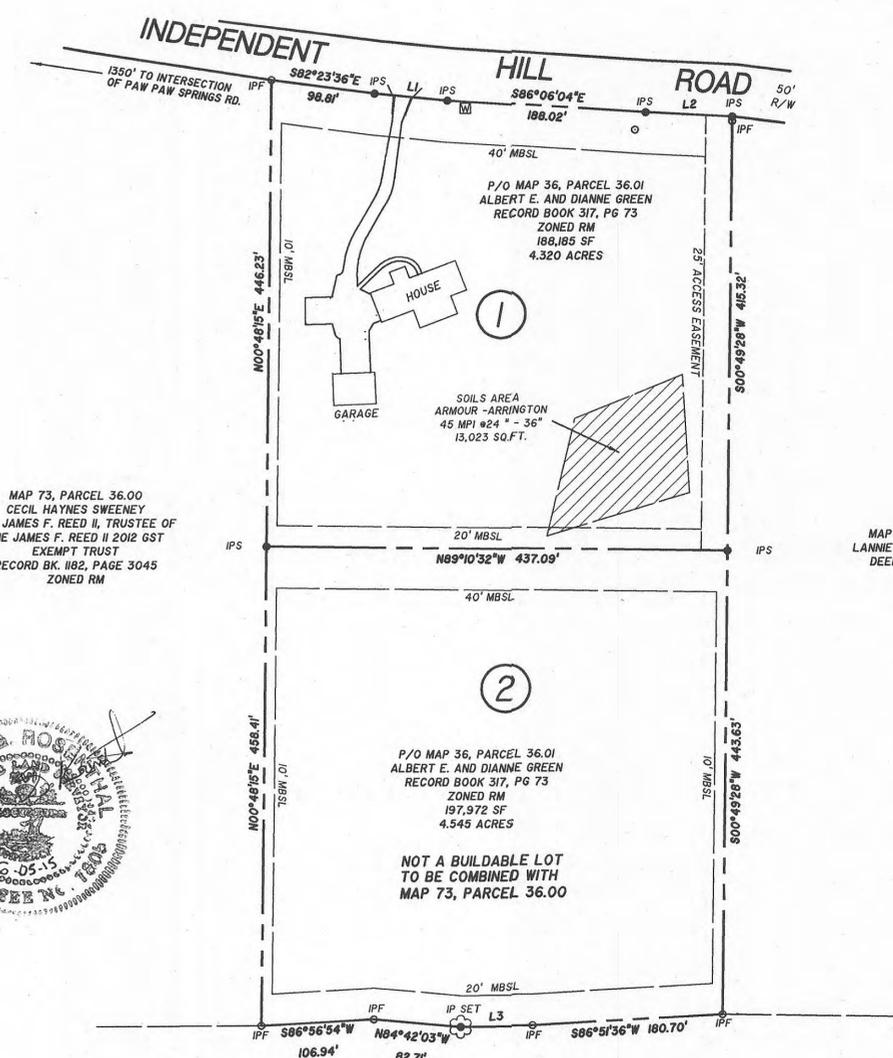
TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION NOTES:

LOT 1 IS APPROVED FOR _____ BEDROOMS USING CONVENTIONAL SYSTEMS ONLY
 LOT 2 HAS NOT BEEN EVALUATED FOR SOILS BY TDEC AND IS A NON BUILDABLE LOT AT THIS DATE.

SHADED AREAS ARE RESERVED FOR SUBSURFACE SEWAGE DISPOSAL ONLY. KEEP ALL BUILDINGS, DRIVEWAYS AND UNDERGROUND UTILITIES OUTSIDE THE SHADED SOILS AREAS. ANY ENCROACHMENT OF THESE AREAS MAY VOID LOT APPROVAL.

LEGEND

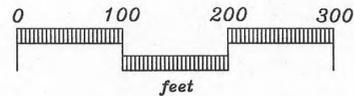
- IPF IRON PIN (FOUND)
- IPS IRON PIN SET (NEW)
- CONC. MONUMENT (FOUND)
- 8" W WATER LINE w/FIRE HYD.



| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | S84°12'09"E | 69.47' |
| L2 | S86°59'30"E | 82.23' |
| L3 | S89°32'50"W | 67.52' |

SITE DATA:

TOTAL AREA = 8.865 ACRES
 NO. OF LOTS = 2
 ZONING = RM
OWNER INFORMATION
 OWNERS:
 ALBERT E. GREEN AND
 DIANNE GREEN
 P/O MAP 73, PARCEL 36.01
 RECORD BOOK 317, PAGE 73



CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE _____
 RECORD BK. 317, PAGE 73 ALBERT E. GREEN
 DATE _____
 RECORD BK. 317, PAGE 73 DIANNE GREEN

CERTIFICATE OF APPROVAL FOR WATER SYSTEMS

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT ENTITLED "WELCH SUBDIVISION" HAS BEEN APPROVED BY THE ENGINEERS OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY FOR WATER SERVICE, PROVIDED HOWEVER, THAT THE LINES, VALVES, AND FITTINGS MUST BE INSTALLED IN ACCORDANCE WITH C.U.D. SPECIFICATIONS AS DETERMINED BY ITS ENGINEERS. NO WATER SERVICE WILL BE PROVIDED UNTIL THAT CERTIFICATION HAS BEEN MADE IN WRITING.

DATE _____
 CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

CERTIFICATE FOR APPROVAL OF ELECTRIC POWER

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEMC AS DEFINED IN THE RULES AND REGULATIONS, BY-LAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEB SITE AT WWW.MTEMC.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEMC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.

DATE _____
 AUTHORIZED MTEMC OFFICIAL

CERTIFICATION OF GENERAL APPROVAL FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS WITH RESTRICTIONS

GENERAL APPROVAL IS HEREBY GRANTED FOR LOTS PROPOSED HEREON AS BEING SUITABLE FOR SUBSURFACE SEWAGE DISPOSAL WITH THE LISTED AND/OR ATTACHED RESTRICTION. BEFORE THE INITIATION OF CONSTRUCTION, THE LOCATION OF THE HOUSE OR OTHER STRUCTURES AND PLANS FOR THE SUBSURFACE SEWAGE DISPOSAL SHALL BE APPROVED BY THE LOCAL HEALTH AUTHORITY.

DATE _____
 T.D.E.C./D.W.R.

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RUTHERFORD COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER.

DATE _____
 SECRETARY, PLANNING COMMISSION

FINAL PLAT

WELCH SUBDIVISION

10675 INDEPENDENT HILL ROAD
 ARRINGTON, TN
 MAP 73, PARCEL 36.01

4TH CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE



SITE ENGINEERING CONSULTANTS

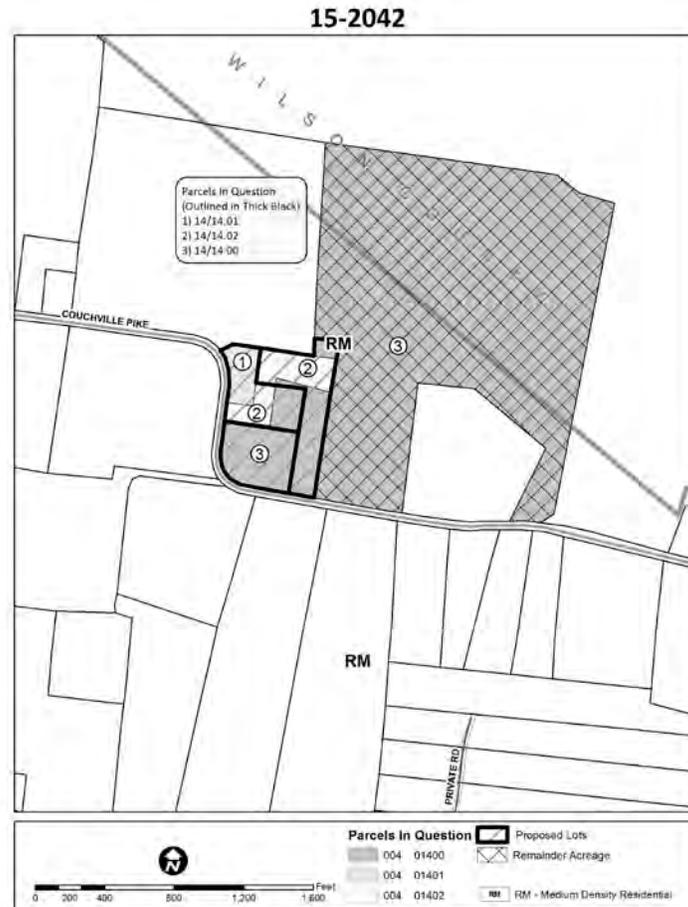
ENGINEERING • SURVEYING • LAND PLANNING
 850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
 PHONE (615) 890-7901 • FAX (615) 895-2567

| | | | | | |
|------------------|---------------------|-----------------------|-----------------------|---------------------|-----------------|
| PROJ. # 08106 | DATE: 06-05-2015 | FILE: WelchSubPlat | DRAWN BY: ACAD/TGR | SCALE: 1" = 100' | SHEET 1 OF 1 |
|------------------|---------------------|-----------------------|-----------------------|---------------------|-----------------|

152039

Rutherford County Regional Planning Commission June 22, 2015 Staff Comments

Plat/Plan Name: Lannon-Couchville Pike Subdivision (15-2042)
Request: Final Plat Approval
Site Details: 3 lots on 11.1 acres, zoned RM
Developer: Dorothy Lannom
Property Location: Couchville Pike



The subject property is located along Couchville Pike. The applicant is proposing to resubdivide the properties in question, along with creating a new Lot 3. The plat appears to be in good order, but since it contains more than two lots, Staff cannot grant administrative approval.

Any approval should be made subject to Staff Comments.

GENERAL NOTES

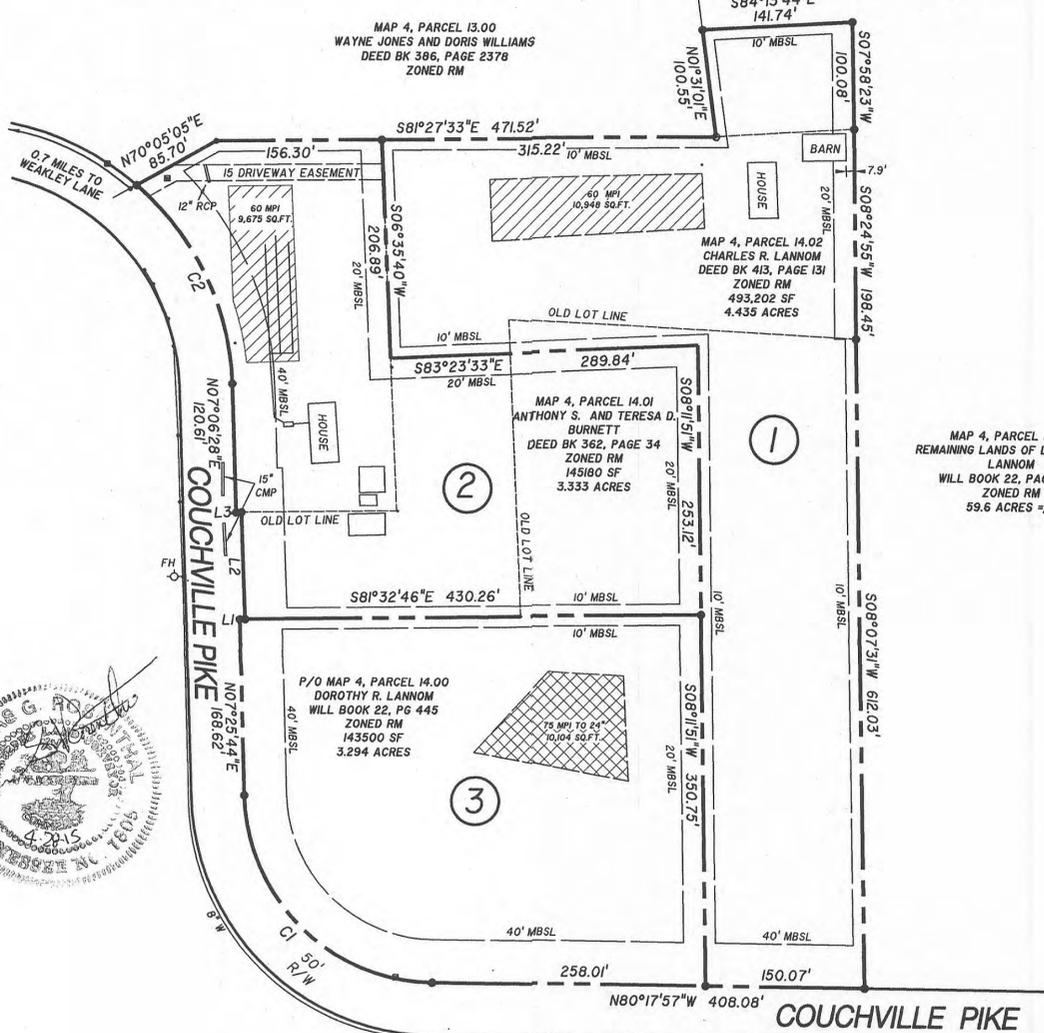
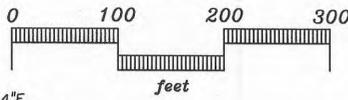
- THE PURPOSE OF THIS FINAL PLAT IS TO INCREASE THE SIZE OF TWO PREVIOUSLY RECORDED LOTS AND CREATE A THIRD NEW LOT.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO RUTHERFORD COUNTY CONTROL MONUMENT RCC-000, (NAD 83-96).
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, PER FEMA FIRM MAP NO. 47149C0128H, EFFECTIVE DATE JANUARY 5, 2007.
- PARCELS MAY BE SUBJECT TO ADDITIONAL EASEMENTS AND/OR RESTRICTIONS, BY RECORD OR PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
- IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE HOUSE, FROM HIS STRUCTURE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN 15 DAYS TO THE DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 60 DAYS.
- PROPERTIES ADJACENT TO THE SITE OF LAND SHALL BE PROTECTED FROM SEDIMENT DEPOSITION. THIS MAY BE ACCOMPLISHED BY PRESERVING A WELL-VEGETATED BUFFER STRIP AROUND THE LOWER PERIMETER OF THE LAND DISTURBANCE; BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENT BARRIERS, FILTERS OR DIKES, OR SEDIMENT BASINS; OR BY A COMBINATION OF SUCH MEASURES.
- NO FILL MATERIAL, RUBBISH, OR BUILDING MAY BE PLACED IN ANY NATURAL DRAINAGE WAY, SUCH AS STREAM BEDS, SINKHOLES, UNDERGROUND STREAMS OR CHANNELS, OR WET WEATHER STREAM BEDS OR FLOODWAYS.
- PUBLIC UTILITY EASEMENTS, IF AND WHERE SHOWN HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITIES AND DRAINAGE WAYS, INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.
- IN TENNESSEE IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-3111.
- PROPERTY IS CURRENTLY ZONED RM. ALL PROPERTY ADJACENT TO THIS SUBDIVISION IS CURRENTLY ZONED RM.
- MINIMUM SETBACKS FOR LOTS AS SHOWN HEREON UNLESS NOTED OTHERWISE: FRONT = 40 FT. / SIDE = 10 FT. / REAR = 20 FT.
- WATER LINE IS SHOWN FOR GRAPHICAL PURPOSES ONLY. PLEASE CONTACT CONSOLIDATED UTILITY DISTRICT (C.U.D.) FOR WATER LINE LOCATION, SIZE, AND PLACEMENT OF FIRE HYDRANTS.
- ALL FIRE HYDRANTS SHALL BE PLACED IN COORDINATION WITH CONSOLIDATED UTILITY DISTRICT.
- THE 10 FT. PUBLIC UTILITY EASEMENTS SHOWN ADJACENT TO ALL PUBLIC RIGHT-OF-WAY ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITY COMPANIES SUCH AS MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION, AT&T TELECOMMUNICATIONS, CONSOLIDATED UTILITY DISTRICT, CABLE TELEVISION COMPANIES, NATURAL GAS COMPANIES, AND OTHERS.

CURVE DATA

| CURVE | RADIUS | LENGTH | CH. BRG. | CHORD |
|-------|---------|---------|-------------|---------|
| C1 | 179.80' | 275.29' | N36°26'07"W | 249.18' |
| C2 | 260.00' | 215.53' | N16°38'24"W | 209.41' |

LINE DATA

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | S81°32'46"E | 5.00' |
| L2 | N07°06'28"E | 100.00' |
| L3 | N82°53'32"W | 5.00' |



CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE _____ WILL BOOK 22, PG. 445 DOROTHY R. LANNOM - OWNER - LOT 3

DATE _____ DEED BOOK 362, PG. 34 ANTHONY S. BURNETT - OWNER - LOT 2

DATE _____ DEED BOOK 362, PG. 34 TERESA D. BURNETT - OWNER - LOT 2

DATE _____ DEED BOOK 413, PG. 131 CHARLES R. LANNOM - OWNER - LOT 1

CERTIFICATE OF APPROVAL FOR WATER SYSTEMS

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT ENTITLED "LANNOM - COUCHVILLE PIKE SUBDIVISION" HAS BEEN APPROVED BY THE ENGINEERS OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY FOR WATER SERVICE, PROVIDED HOWEVER, THAT THE LINES, VALVES, AND FITTINGS MUST BE INSTALLED IN ACCORDANCE WITH C.U.D. SPECIFICATIONS AS DETERMINED BY ITS ENGINEERS. NO WATER SERVICE WILL BE PROVIDED UNTIL THAT CERTIFICATION HAS BEEN MADE IN WRITING.

DATE _____ CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

CERTIFICATE FOR APPROVAL OF ELECTRIC POWER

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEMC AS DEFINED IN THE RULES AND REGULATIONS, BY-LAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEB SITE AT WWW.MTEMC.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEMC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.

DATE _____ AUTHORIZED MTEMC OFFICIAL

CERTIFICATION OF GENERAL APPROVAL FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS WITH RESTRICTIONS

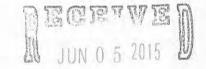
GENERAL APPROVAL IS HEREBY GRANTED FOR LOTS PROPOSED HEREON AS BEING SUITABLE FOR SUBSURFACE SEWAGE DISPOSAL WITH THE LISTED AND/OR ATTACHED RESTRICTION. BEFORE THE INITIATION OF CONSTRUCTION, THE LOCATION OF THE HOUSE OR OTHER STRUCTURES AND PLANS FOR THE SUBSURFACE SEWAGE DISPOSAL SHALL BE APPROVED BY THE LOCAL HEALTH AUTHORITY.

DATE _____ T.D.E.C./D.W.R.

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RUTHERFORD COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER.

DATE _____ SECRETARY, PLANNING COMMISSION



FINAL PLAT

LANNOM-COUCHVILLE PIKE SUBDIVISION

A RESUBDIVISION OF LOT 1, HILDA R. LANNOM PROPERTY, LOT 1, SUBDIVISION OF THE HILDA LANNOM PROPERTY AND A PORTION OF MAP 4, PARCEL 14.00

1ST CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE

SEC, Inc. SITE ENGINEERING CONSULTANTS

ENGINEERING • SURVEYING • LAND PLANNING
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567

| | | | | | |
|------------------|------------------|-----------------------------|-----------------------|---------------------|-----------------|
| PROJ. # 92124 | DATE: 4-23-15 | FILE: LANNOM-COUNTY PLAT | DRAWN BY: ACAD/TGR | SCALE: 1" = 100' | SHEET 1 OF 1 |
|------------------|------------------|-----------------------------|-----------------------|---------------------|-----------------|

15-2042

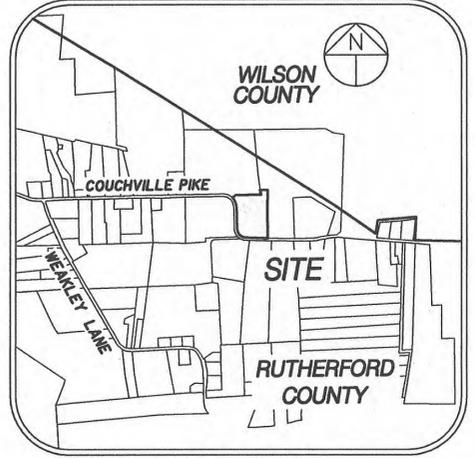
CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE RUTHERFORD COUNTY, TENNESSEE, PLANNING COMMISSION, THAT THE PRECISION OF THE UNADJUSTED SURVEY IS 1/10,000 OR GREATER, AND THAT MONUMENTS HAVE BEEN/WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE COUNTY ROAD COMMISSIONER OR COUNTY ENGINEER.

DATE 4-28-15 REGISTERED SURVEYOR



DATE OF RECORDING: _____
TIME OF RECORDING: _____
PLAT BOOK _____, PAGE _____



SOILS LEGEND

- 30/45/60 MPI SOILS ARE SUITABLE FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS.
- 75 MPI SOILS ARE MARGINALLY SUITABLE FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS.

TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION NOTES:

LOT 1 IS APPROVED FOR _____ BEDROOMS USING CONVENTIONAL SYSTEMS ONLY
LOT 2 IS APPROVED FOR _____ BEDROOMS USING CONVENTIONAL SYSTEMS ONLY
LOT 3 IS APPROVED FOR _____ BEDROOMS USING CONVENTIONAL SYSTEMS ONLY

SHADED AREAS ARE RESERVED FOR SUBSURFACE SEWAGE DISPOSAL ONLY. KEEP ALL BUILDINGS, DRIVEWAYS AND UNDERGROUND UTILITIES OUTSIDE THE SHADED SOILS AREAS. ANY ENCROACHMENT OF THESE AREAS MAY VOID LOT APPROVAL.

THE RECORDING OF THIS PLAT VOIDS, VACATES AND SUPERSEDES THE RECORDING OF LOT 1 ON A FINAL PLAT ENTITLED "HILDA R. LANNOM PROPERTY", AS RECORDED IN PLAT BOOK 10, PAGE 8, AND LOT 1 ON A FINAL PLAT ENTITLED "SUBDIVISION OF THE HILDA LANNOM PROPERTY, RECORDED IN PLAT BOOK 13, PAGE 8, R.O.R.C., TN.

LEGEND

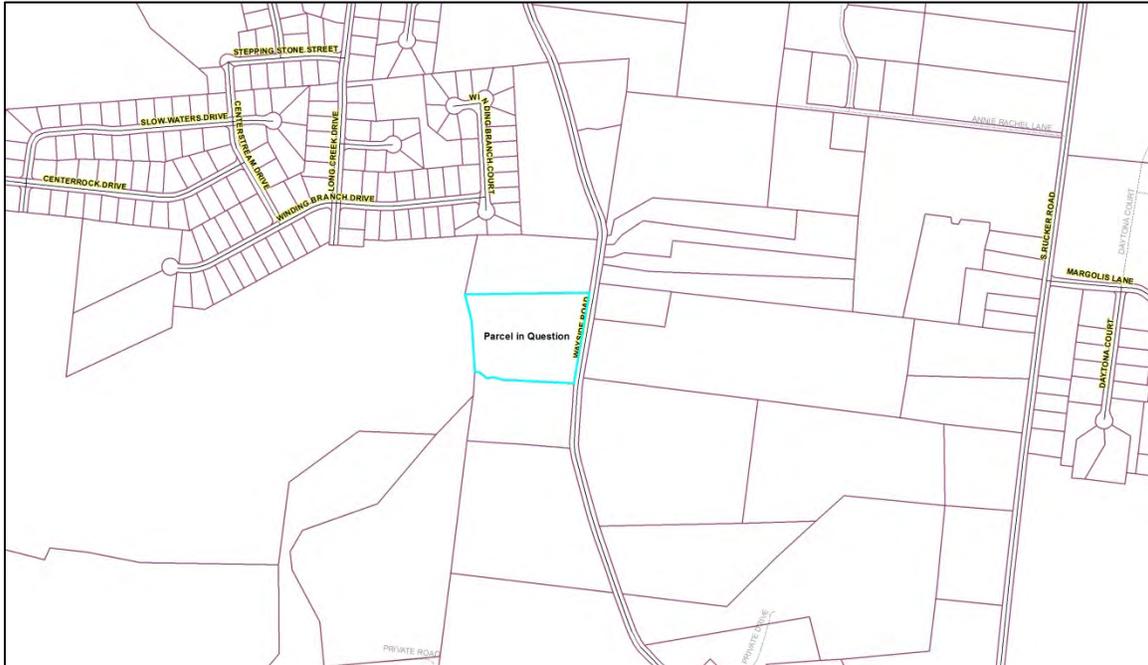
- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- CONC. MONUMENT (FOUND)
- 8"W WATER LINE w/FIRE HYD.

SITE DATA:

TOTAL AREA = 11.062 ACRES
NO. OF LOTS = 3
ZONING = RM
OWNER INFORMATION
OWNER - LOT 2
ANTHONY AND TERESA BURNETT
ADDRESS: 7106 COUCHVILLE PIKE
MT. JULIET, TN. 37122
P/O MAP 4, PARCEL 14.01
D.B. 362, PG. 34
OWNER - LOT 1
CHARLES R. LANNOM
ADDRESS: 7138 COUCHVILLE PIKE
MT. JULIET, TN. 37122
P/O MAP 4, PARCEL 14.02
D.B. 413, PG. 131

Rutherford County Regional Planning Commission June 22, 2015 Staff Comments

Plat/Plan Name: Shadowens Two-Lot Subdivision (15-2045)
Request: Final Plat Approval
Site Details: 2 lots on 2.58 acres, zoned RM
Developer: Phillip and Laura Shadowens
Property Location: Wayside Road



The subject property is located on the west side of Wayside Road. The applicant is proposing to subdivide two lots off of a larger tract. The remaining acreage will remain over 5 acres and will not qualify as a subdivision lot. The plat is in good order, but does show right-of-way dedication, which does require Planning Commission approval.

Any approval should be made subject to Staff Comments.

CERTIFICATION OF GENERAL APPROVAL FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS WITH RESTRICTIONS

General approval is hereby granted for lots proposed herein as being suitable for subsurface sewage disposal with the listed and/or attached restrictions.

Before the initiation of construction, the location of the house or other structure(s) and plans for the subsurface sewage disposal system shall be approved by the Division of Water Resources.

Date _____ TN Dept. of Environment & Conservation
Division of Ground Water Protection

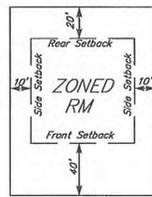
TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION:

- Any cutting or filling after June 3, 2015 may render lots unsuitable for subsurface sewage disposal.
- Lot 1 is approved for up to a bedroom residence.
- Lot 2 is approved for up to a bedroom residence.
- All shaded areas are to be reserved for subsurface sewage disposal systems. Keep all houses, utilities, & drives outside shaded areas.

75 MPI

| LOT | 45 MPI | 75 MPI | EXIST. S.S.DS | TOTAL |
|-----|--------|-------------|---------------|-------------|
| 1 | — | 14,857 S.F. | — | 14,857 S.F. |
| 2 | — | 12,742 S.F. | — | 12,742 S.F. |

ZONED: RM
FRONT SETBACK: 40'
SIDE SETBACK: 10'
REAR SETBACK: 20'



TYPICAL BUILDING SETBACK DETAIL
N.T.S.



LOCATION MAP
N.T.S.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as shown.

Record Book 78, Page 1643

Date _____ Philip W. Shadowens

Date _____ Laura Shadowens

CERTIFICATE OF ACCURACY

I hereby certify that the plan shown and described hereon is true and correct survey to the accuracy required by the Rutherford County, Tennessee, Planning Commission and that the monuments have been placed as shown hereon to the specifications of the County Engineer.

Date 6/4/15 _____
Date _____ William H. Huddleston IV Tenn. RLS No. 1630

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for Rutherford County, Tennessee with the exception of such variances, if any, as are noted in the minutes of the planning commission and that it has been approved for recording in the office of the County Registrar.

Date _____ SECRETARY, PLANNING COMMISSION

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MTEMC, and in accordance with the plat approval checklist, tree planting guidelines and other regulations contained on the MTEMC website at www.mtemc.com (collectively the "Requirements"). No electric service will be provided until MTEMC's Requirements have been met and approved in writing by an authorized representative of MTEMC. Any approval is, at all times, contingent upon continuing compliance with MTEMC's requirements.

Date _____ MIDDLE TENNESSEE ELECTRIC
MEMBERSHIP CORPORATION

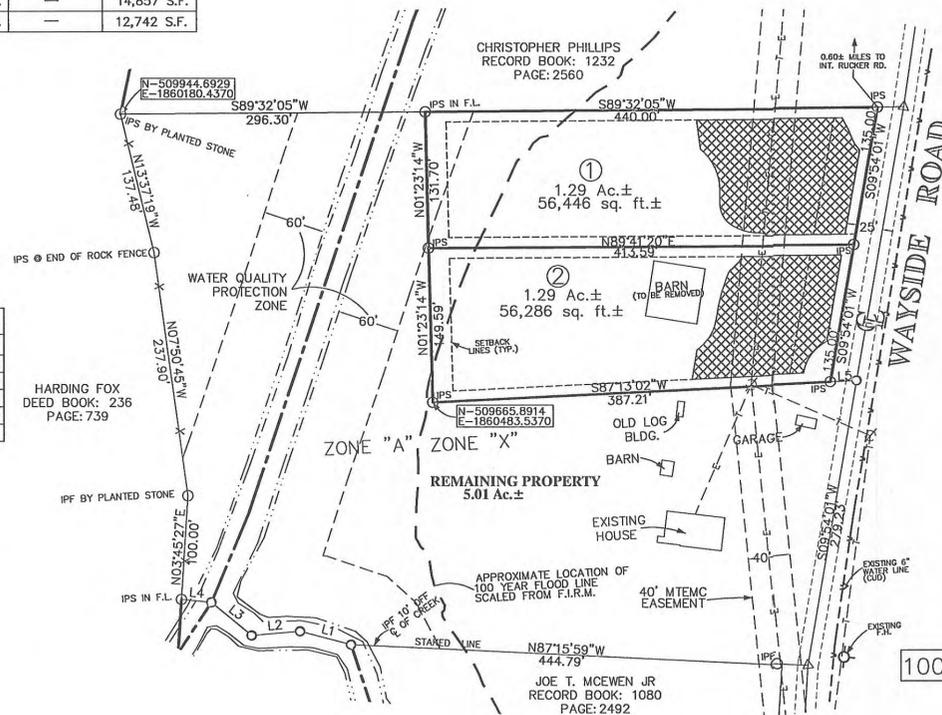
CERTIFICATE FOR APPROVAL OF WATER SYSTEMS

I hereby certify that the subdivision plat entitled "Shadowens Two Lot Subdivision" has been approved by the engineers of Consolidated Utility District of Rutherford County for water service, provided however, that the lines, valves, and fittings must be installed in accordance with C.U.D. specifications as determined by its engineers. No water service will be provided until that certification has been made in writing.

Date _____ CONSOLIDATED UTILITY DISTRICT
OF RUTHERFORD COUNTY

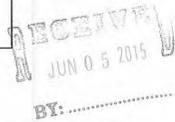
DATE OF RECORDING: _____
TIME OF RECORDING: _____
PLAT BOOK: _____, PAGE: _____

| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L1 | 51.18 | N75°23'53"W |
| L2 | 47.26 | S85°07'42"W |
| L3 | 50.46 | N50°48'17"W |
| L4 | 29.26 | N84°35'11"W |
| L5 | 25.63 | N87°13'02"E |



100 YEAR FLOOD ELEVATION: 651.8

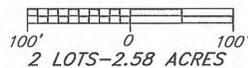
LOTS 1 & 2
MPE=652.8
MFE=654.8



I hereby certify that this is a category I survey and the ratio of precision of the unadjusted survey is 1:10,000 as shown hereon.

PLAT NOTES

- The purpose of this plat is to create a Two lot subdivision.
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available above ground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- It is the responsibility of each residential builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the house, from his structure to the drainage system constructed by the subdivision developer.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- All surrounding properties are zoned RM.



LEGEND FOR MONUMENTS

- IPS O IRON PIN SET (1/2" x 4"-5)
- IPF O IRON PIN FND.
- O RAILROAD SPIKE
- * FENCE
- o SURVEY POINT
- Δ NAIL
- CONC. MARKER FND.
- P.O.B. POINT OF BEGINNING

LEGEND

- P— Power Pole
- W— Water Line
- S— Sanitary Sewer Line
- o Manhole
- E— Electric Line

OWNER: PHILIP & LAURA SHADOWENS
ADDRESS: 5096 WAYSIDE RD.
CHRISTIANA, TN 37037
TAX MAP: 150, PARCEL: 33.02

FLOOD MAP PANEL: 47149C 0401 H ZONES: A, X
DATED: JANUARY 5, 2007
PORTIONS OF THIS PARCEL ARE INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM

WILLIAM H. HUDDLESTON IV
REGISTERED LAND SURVEYOR
TENNESSEE No. 1630

SHUDDLESTON-STEEL
ENGINEERING INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
SURVEYING: 893 - 4064, FAX: 893 - 0080

MINOR PLAT

SHADOWENS

TWO-LOT SUBDIVISION

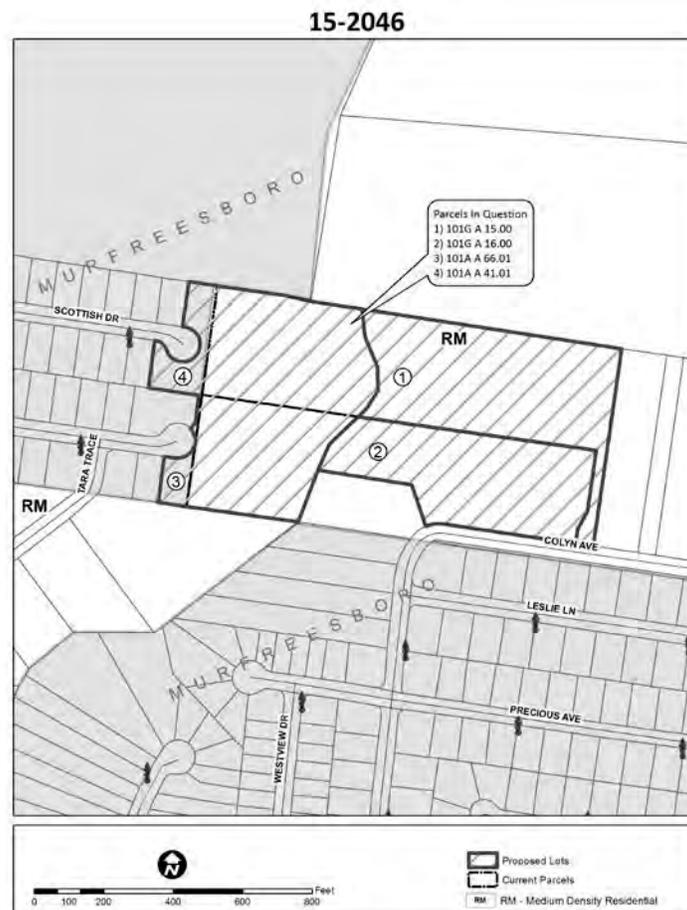
11th. CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DATE: APRIL, 2015 SCALE 1"=100' SH. 1 OF 1

15-2045

Rutherford County Regional Planning Commission June 22, 2015 Staff Comments

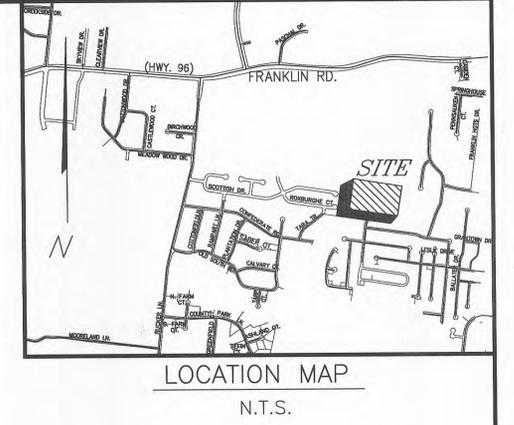
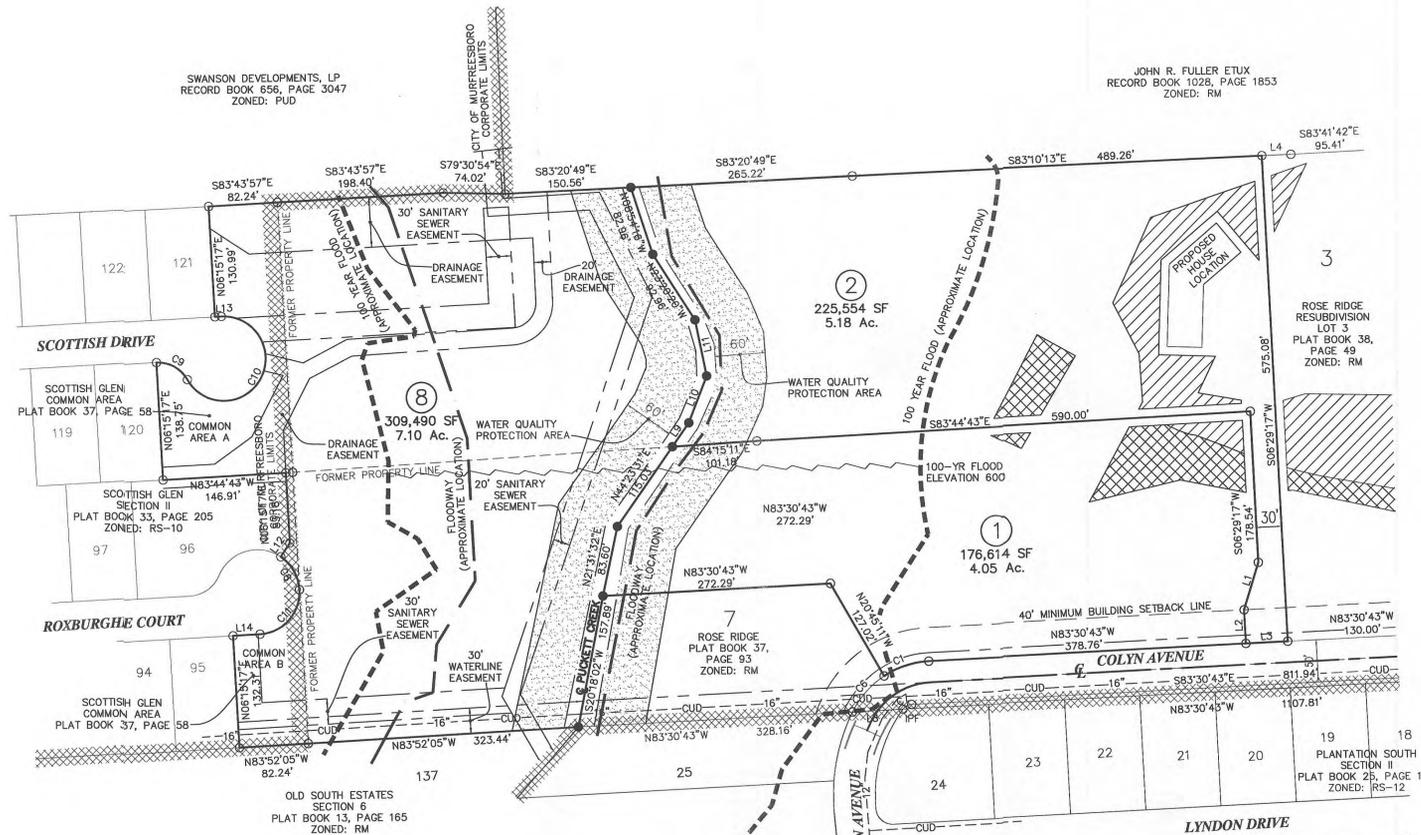
Plat/Plan Name: Rose Ridge Lots 1 and 2 and Scottish Glen Common Area (15-2046)
Request: Final Plat Approval
Site Details: 3 lots on 16.33 acres, zoned RM
Developer: RZM, LLC
Property Location: Colyn Avenue



The subject property is located on the north side of Colyn Avenue. Rose Ridge Subdivision was recorded in July 2013. The applicant desires to resubdivide Lots 1 and 2 and create a new Lot 8 that would be accessed through the Scottish Glen Subdivision. Since a small portion of Lot 8 is located within the City Limits of Murfreesboro and has sanitary sewer extending through it, Murfreesboro City approval will be required. The plat is being brought before you because Staff cannot administratively approve plats that contain more than two lots.

Any approval should be made subject to Staff Comments.

| LOT | M.F.E. | M.P.E. |
|-----|--------|--------|
| 1 | 604.3 | 602.3 |
| 2 | 603.0 | 601.0 |
| 8 | 604.3 | 602.3 |



CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.
 RZM, LLC

Date _____
 Record Book 1186, Page 1944
 Zsolt Muller

CERTIFICATE OF ACCURACY
 I hereby certify that the plan shown and described hereon is true and correct survey to the accuracy required by the Rutherford County, Tennessee, Planning Commission and that the monuments have been placed as shown hereon to the specifications of the County Engineer.

Date _____
 William H. Huddleston, IV, Tenn. RLS No. 1630

CERTIFICATE OF APPROVAL FOR RECORDING
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for Rutherford County, Tennessee with the exception of such variances, if any, as are noted in the minutes of the planning commission and that it has been approved for recording in the office of the County Registrar.

Date _____
 SECRETARY, PLANNING COMMISSION

Date _____
 CHAIRMAN, PLANNING COMMISSION

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER
 Murfreesboro Electric Department (MED) will provide electric service to the subject property according to the normal operating practices of MED as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MED, and in accordance with the other regulations of MED. No electric service will be provided until MED's Requirements have been met and approved in writing by an authorized representative of MED. Any approval is, at all times, contingent upon continuing compliance with MED's requirements.

Date _____
 MURFREESBORO ELECTRIC DEPARTMENT

CERTIFICATE OF WATER
 I hereby certify that the subdivision plat entitled "Rose Ridge" has been approved by the engineers for Consolidated Utility District of Rutherford County for water service, provided, however, that the lines, valves, and fittings must be installed in accordance with C.U.D. specifications as determined by its engineers. No water service will be provided until that certification has been made in writing.

Date _____
 OFFICIAL, CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS - LOT 8 ONLY
 I hereby certify that (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date _____
 Murfreesboro Water and Sewer Official

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK: _____, PAGE: _____

The recording of this plat voids and vacates Lots 1 and 2 as originally recorded in Plat Book 37, Page 93.

The recording of this plat voids and vacates Common Areas A and B as originally recorded in Plat Book 37, Page 58.

I hereby certify that this is a Category "I" survey and the ratio of precision of the unadjusted survey is 1:10,000 as shown hereon and that this survey was done in compliance with current Tennessee Minimum Standards of Practice for Land Surveys.

WILLIAM H. HUDDLESTON
 ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: (615)893-4084, FAX: (615)893-0080

| LINE | BEARING | LENGTH |
|------|-------------|--------|
| L1 | S26°28'16"W | 58.52 |
| L2 | S06°29'17"W | 40.00 |
| L3 | N83°30'43"W | 50.00 |
| L4 | S83°10'13"E | 34.59 |
| L5 | S84°33'58"E | 10.94 |
| L6 | N83°30'43"W | 93.40 |
| L7 | S27°13'30"W | 6.50 |
| L8 | N83°30'43"W | 60.47 |
| L9 | N44°23'31"E | 34.30 |
| L10 | N30°35'42"E | 59.37 |
| L11 | N02°18'03"W | 67.84 |
| L12 | N43°11'18"E | 19.52 |
| L13 | S83°44'43"E | 7.72 |
| L14 | S83°44'43"E | 32.24 |

| CURVE | DELTA | RADIUS | ARC | CHORD | BEARING |
|-------|-----------|--------|--------|-------|-------------|
| C1 | 30°05'58" | 108.33 | 56.91 | 56.26 | S81°26'18"W |
| C2 | 60°00'00" | 50.00 | 52.36 | 50.00 | S66°29'17"W |
| C3 | 60°00'00" | 50.00 | 52.36 | 50.00 | S66°29'17"W |
| C4 | 95°44'21" | 50.00 | 83.55 | 74.16 | N35°38'32"W |
| C5 | 84°16'49" | 50.00 | 73.55 | 67.09 | N54°22'03"E |
| C6 | 30°24'29" | 108.33 | 57.49 | 56.92 | S51°11'04"W |
| C7 | 50°22'43" | 13.80 | 12.13 | 11.75 | N71°17'56"E |
| C8 | 53°03'59" | 50.00 | 46.31 | 44.67 | N20°16'42"W |
| C9 | 63°36'32" | 40.00 | 44.41 | 42.16 | S51°56'07"E |
| C10 | 24°36'52" | 50.00 | 212.59 | 84.98 | N38°03'43"E |
| C11 | 90°00'00" | 50.00 | 78.54 | 70.71 | N51°15'17"E |

RECEIVED
 JUN 05 2015
 BY: _____

- PLAT NOTES**
- The purpose of this plat is to create Lot 8 from Lots 1 & 2 of Rose Ridge and Common Areas A & B from Scottish Glen.
 - In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
 - Underground utilities shown were located using available aboveground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
 - It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
 - Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
 - Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, Telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
 - The soil types and locations shown hereon are taken from soils maps provided by Lonnie Harrod dated 02-12-13. The local health authority maintains a copy of the soils maps and has reviewed this final plat for conformance with same. Huddleston-Steele Engineering, Inc., assumes no responsibility for the accuracy or completeness of the soils information provided hereon.
 - Permanent or temporary soil stabilization shall be applied to denuded areas within 15 days after final grade is reached on any portion of the site. Soil stabilization shall also be applied within 15 days to denuded areas which may not be at final grade, but will remain dormant (undisturbed) for longer than 60 days.
 - Properties adjacent to the site of land disturbance shall be protected from sediment deposition. This may be accomplished by preserving a well-vegetated buffer strip around the lower perimeter of the land disturbance; by installing perimeter controls such as sediment barriers, filters, or dikes, or sediment basins; or by a combination of such measures.
 - Lot 7 of Rose Ridge has been established for the purpose of maintaining the contained storm water facilities. Per the R.C.R.P.C., it is not a buildable lot (i.e. no home can be built on it). Lot 7 shall be maintained by the Rose Ridge Homeowners' Association.

CERTIFICATION OF GENERAL APPROVAL FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS WITH RESTRICTIONS - LOTS 1 AND 2

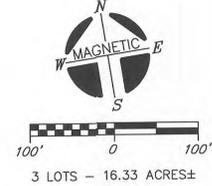
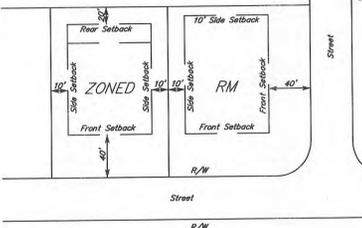
General approval is hereby granted for lot proposed hereon as being suitable for subsurface sewage disposal with the listed and/or attached restrictions. Before the initiation of construction, the location of the house or other structure(s) and plans for the subsurface sewage disposal system shall be approved by the local health authority.

Date _____
 TN Dept. of Environment & Conservation
 Division of Ground Water Protection

- TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION
 NOTES FOR LOTS 1 AND 2
- Any cutting or filling after June 4, may render lots unsuitable for subsurface sewage disposal.
 - All shaded areas are to be reserved for subsurface sewage disposal systems. Keep all houses, utilities, and drives outside shaded areas.
 - All lots in general have 8,000 S.F. minimum of soil area, and depending on the type of soil. Contact the local office of the Tennessee Dept. of Environment and Conservation.
 - All lots have 75' minimum at building setback line

| Lot No. | Sq. Ft. of <60mpi soil | Sq. Ft. of 75mpi soil | Total Soil Area (Sq. Ft.) |
|---------|------------------------|-----------------------|---------------------------|
| 1 | 1,804 | 10,590 | 12,394 |
| 2 | 16,304 | 4,750 | 21,054 |

ZONING: RM
 FRONT SETBACK: 40'
 SIDE SETBACK: 10'
 REAR SETBACK: 20'



- LEGEND FOR MONUMENTS
- IRON PIN SET (1/2" rebar; H-S ENGR)
 - IRON PIN FND.
 - RAILROAD SPIKE
 - FENCE
 - SURVEY POINT
 - NAIIL
 - CONG. MARKER FND.

OWNER: RZM, LLC
 ADDRESS: 3420 SALEM COVE
 MURFREESBORO, TN 37128

TAX MAP: 101G, GROUP: A, PARCELS: 15.00 & 16.00
 RECORD BOOK 1186, PAGE 1944

FLOOD MAP PANEL: 470165 0255 H ZONES: AE & X
 FLOOD MAP DATED: JANUARY 5, 2007

NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

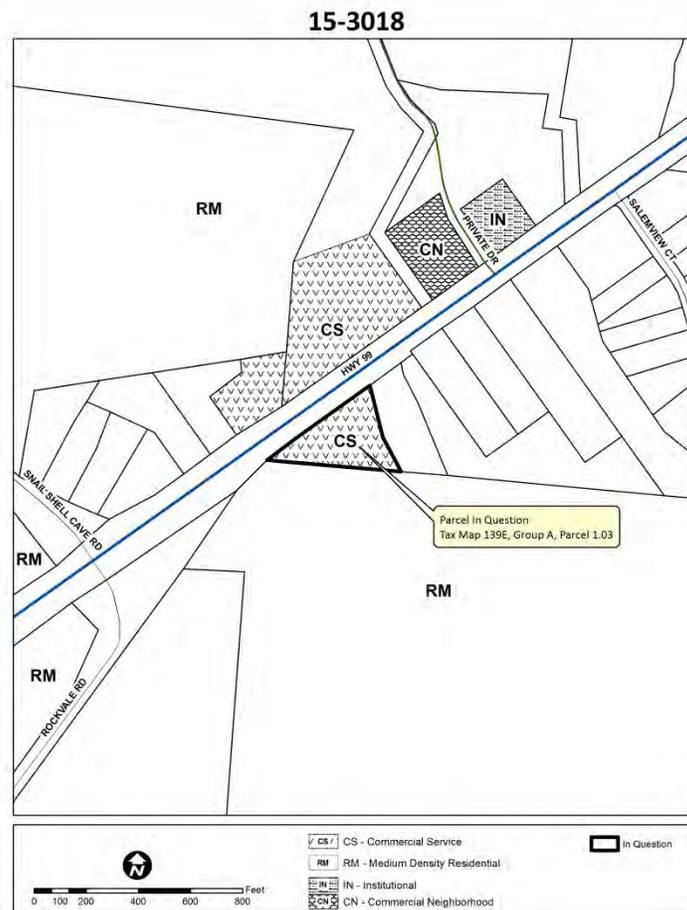
THESE LOTS ARE INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD AREA" ON THE NATIONAL FLOOD INSURANCE PROGRAM
 FLOOD MAP PANEL: 470165 0255 H ZONES: AE & X
 DATED: JANUARY 5, 2007

152046

Rutherford County Regional Planning Commission

June 22, 2015 Staff Comments

Plat/Plan Name: Overall Brewery & Blending (15-3018)
Request: Site Plan Approval
Site Details: New construction of approximately 2,700 square feet of Food and Beverage Services space (Brew pub) on 1.82 acres, zoned CS
Developer: Ryan & Christy Stegall
Property Location: Highway 99



The subject property is located on the south side of Highway 99. The applicant plans to construct a microbrewery/ brew pub on the property. Staff has a number of comments for this site plan, but feels that most of them should be addressed prior to the meeting. The applicant will also need to meet all regulations from other State and Local authorities including, but not limited to, the County Beer Board.

Any approval should be made subject to Staff Comments.

CERTIFICATE OF WATER

I hereby certify that the subdivision plat entitled **SITE PLAN, OVERALL BREWING & BLENDING** has been approved by the engineers for Consolidated Utility District of Rutherford County for water service, provided, however, that the lines, valves, and fittings must be installed in accordance with C.U.D. specifications as determined by its engineers. No water service will be provided until that certification has been made in writing.

Date: _____, 2015
 MANAGER, CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

CERTIFICATE OF ELECTRICAL SERVICE

Middle Tennessee Electric Membership Corporation (MEMC) will provide electric service to the subject property according to the normal operating practices of MEMC as defined in the Rules and Regulations, By-laws, Policy Bulletins and Operational Bulletins of MEMC, and in accordance with the plat approval checklist, tree planting guidelines and other regulations contained in the MEMC website at www.memc.com (collectively the "Requirements"). No electric service will be provided until MEMC's requirements have been met and approved in writing by an authorized representative of MEMC. Any approval is, at all times, contingent upon compliance with MEMC's Requirements.

Date: _____, 2015
 MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

CERTIFICATION OF GENERAL APPROVAL FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS WITH RESTRICTIONS

General approval is hereby granted for lot shown hereon as being suitable for subsurface sewage disposal with the listed and/or attached restrictions. Before the initiation of construction, the location of the house or other structure(s) and plans for the subsurface sewage disposal system shall be approved by the local health authority.

Date: _____, 2015
 DIVISION OF WATER RESOURCES

APPROXIMATE LOCATION OF 8" WATER LINE (C.U.D.)

OUTFALL #1
 Q50 PRE 2.85 CFS
 Q50 POST 1.05 CFS

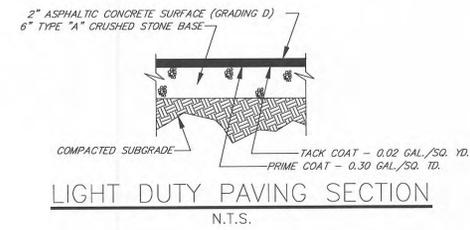
GEORGE MOODY
 PB: 35, PG: 262
 ZONED: CS

TIMOTHY ANDERSON
 DB: 421 PG: 632
 ZONED: RM

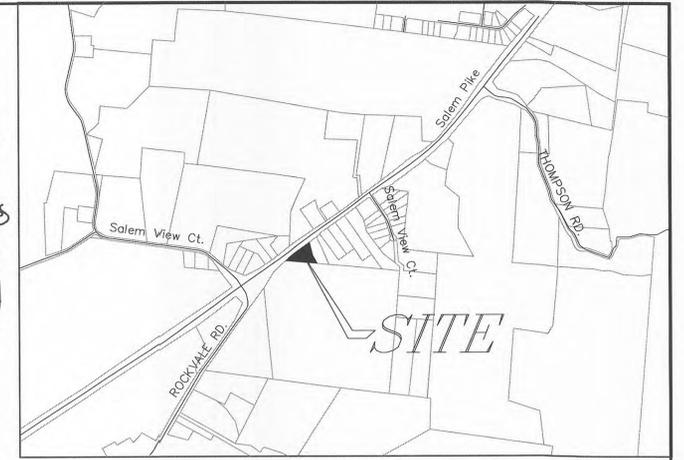
JEFF MOODY
 PB: 28, PG: 167
 ZONED: RM

LEGEND

- ⊕ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- ⊕ Existing Manhole
- ⊕ Proposed Manhole
- ⊕ Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- ⊕ Existing Spot Elevations
- ⊕ Proposed Spot Elevations
- Siltation Fence (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Siltation Fence (Initial Measure)
- Siltation Fence (Once Constructed)
- Turf Reinforcement Mat
- Stone Check Dam



LIGHT DUTY PAVING SECTION



LOCATION MAP
 N.T.S.

GENERAL NOTES:

- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the county register of deeds. Those utilities that participate in the Tennessee One Call System can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available above-ground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Evidence of a land disturbance permit, which includes an erosion prevention & sediment control plan, and a State of Tennessee stormwater permit must be provided to the County's Environmental Engineer prior to construction progressing.
- Water service provided by Consolidated Utility District (C.U.D.).

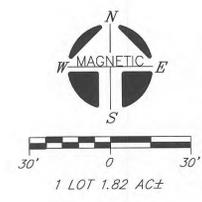
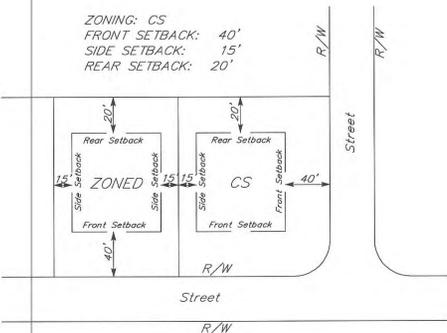
SITE DATA:

PROPOSED USE: FOOD AND BEVERAGES (BREWING & SALES)
 1 SPACE FOR EVERY 2 SEATS (30 SEATS PROPOSED)
 PARKING PROVIDED: 14 REGULAR SPACES + 1 H.C. SPACES
 ZONED: CS
 LOT SIZE: 1.82 AC. (79,075)
 BUILDING AREA: 2,500 S.F.
 PATIO AREA: 2,000 S.F.
 PAVED AREA: 11,064 SQ. FT.
 FLOOR AREA RATIO: 4,500 / 79,075 = .05 %
 LOT COVERAGE : 11,064 + 4,500 / 79,075 = 19 %

| # | DATE | REVISION DESCRIPTION |
|---|--------|----------------------|
| 1 | 6-4-15 | ORIGINAL ISSUE |

SITE PLAN OVERALL BREWING & BLENDING LOT 2 RICH SCICOLONE
 13TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN

DATE: JUNE, 2015 SCALE 1"=30' SH. 2 OF 4



DEVELOPER: RYAN & CHRISTY STEGALL
 DEVELOPER: DON BRUCE
 ADDRESS: 1911 HAYNES DR
 MURFREESBORO, TN 37129
 TAX MAP: 139 GROUP: "A" PARCEL: 1.03

NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.
 A PORTION OF THIS PROPERTY IS NOT INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD AREA" ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD MAP PANEL: 47149C0245H ZONE: X
 DATED: JAN. 05, 2007

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3--.07.